



Archeological Resources

I-820/SH 121 Northeast Interchange

Tarrant County
Fort Worth District

Main CSJ: 0008-13-124

Associated CSJs: 0008-13- 179, 202, 210, 221, 235, 236 & 237
and 0363-03-051 & 054

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT



MEMO

August 2, 2017

To: 850 File, Various Road Projects, Various CSJs, Various Districts

From: Scott Pletka, Ph.D.

Subject: Internal review under the First Amended Programmatic Agreement Among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings (PA-TU), and internal review under the Memorandum of Understanding (MOU) Between the Texas Historical Commission and the Texas Department of Transportation

Listed below are the projects reviewed internally by qualified TxDOT archeologists from 7/27/17 to 8/2//17. The projects will have no effect on archeological historic properties. As provided under the PA-TU, consultation with the Texas State Historic Preservation Officer is not necessary for these undertakings. As provided under the MOU, the proposed projects do not require individual coordination with the Texas Historical Commission.

CSJ	DISTRICT	COUNTY	ROADWAY	DESCRIPTION	WORK PERFORMED
0699-01-051	Abilene	Taylor	FM 89	Widening & Improvements	Background Study
0924-06-450	El Paso	El Paso	Multiple Roadways	Construct Curb Ramps at Various Locations	Background Study
0008-13-124	Fort Worth	Tarrant	IH 820	Improve Intersection and Replace Bridge	Background Study
0902-38-123	Fort Worth	Parker	City of Weatherford	Construct Town Creek Recreation Trail	Background Study

Signature
For TxDOT

cc: ECOS Data Entry; PD; ENV_ARC: PA File

Table Template for Weekly List Memo.doc

Date: 08 / 02 / 2017

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT.

OUR VALUES: People • Accountability • Trust • Honesty

OUR MISSION: Through collaboration and leadership, we deliver a safe, reliable, and integrated transportation system that enables the movement of people and goods.

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Properties ★ **Details**

Archeology Background Study Details

Documentation of Project Setting

- | | |
|--|-----|
| 1. Does the project conform to a type agreed (per Appendix 3 of PA-TU) to pose no potential to affect historic properties? | No |
| 2. Geologic Atlas of Texas map or PALM or soils maps examined. | Yes |
| 3. Texas Archeological Sites Atlas map examined for sites within one kilometer of the project area. | No |
| 4. Historical information examined. Check all that apply. | Yes |

Resources Used During the Initial Assessment

Topographic map(s)	Soil map(s)	Road map(s)	As-built plans	Other
--------------------	-------------	-------------	----------------	-------

If other selected, please identify:

- | | |
|--|-----|
| 5. Aerial images or project area images (e.g., Google Maps with Street View) examined. | Yes |
|--|-----|

Analysis of Project Setting

- | | |
|---|----|
| 6. Have archeological sites been identified within the area of potential effects (APE) or within 150 feet of the APE? | No |
|---|----|

Comments:

- | | |
|---|----|
| 7. Do cemeteries occur within the APE or within 25 feet of the APE? | No |
|---|----|

Comments:

- | | |
|---|-----|
| 8. Do Holocene-age deposits mapped on Geologic Atlas of Texas or PALM or soils maps occur within the APE? | Yes |
|---|-----|

Comments:

- | | |
|---|----|
| 9. Does the APE cross a waterway with the potential for shipwrecks? | No |
|---|----|

Comments:

- | | |
|---|-----|
| 10. Is the APE within 500 feet of a historically reliable water source? | Yes |
|---|-----|

Comments:

- | | |
|--|---------|
| 11. Does the APE include a wetland or frequently flooded area? | Unknown |
|--|---------|

Comments:

- | | |
|--|----|
| 12. Does the Atlas map or other information (enter comment) show that occupation typically occurs on particular landform or landforms that the APE does not contain? | No |
|--|----|

Comments:

- | | |
|--|-----|
| 13. Have all settings that may have been favorable for occupation been subject to previous disturbances? Check all that apply. | Yes |
|--|-----|

Previous Disturbances Identified During the Initial Assessment

Previous road construction and maintenance	Installation of utilities
Modern land use practices like plowing and brush clearing	Urban and/or suburban development
Erosion and scouring by natural processes	Other

If other selected, please identify:

14. Have the majority of the settings with high potential for archeological sites within the APE been previously surveyed? Yes

Comments:

Conclusions

15. Have previous investigations covered a sufficient proportion of the APE to conclude that the APE is unlikely to contain archeological sites or cemeteries? Yes

Comments:

16. Has the APE been sufficiently disturbed that any prehistoric archeological sites would lack the integrity to address important questions? Any such sites would lack integrity of (check all that apply): Yes

Integrity Issues Identified During the Initial Assessment

Location	Design	Materials	Association	Other
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If other selected, please identify:

17. Has the APE been sufficiently disturbed that any historic-era archeological deposits would lack sufficient integrity to address important questions? Any such sites would lack integrity of (check all that apply): Yes

Integrity Issues Identified During the Initial Assessment

Location	Design	Materials	Association	Other
----------	--------	-----------	-------------	-------

If other selected, please identify:

18. Does historic research show that historic-era archeological deposits, cemeteries, and shipwrecks are not likely to occur within the APE? No

Comments:

19. Does the project area occur in a setting that was not conducive to human occupation and activity? No

Comments:

20. Will the project adversely affect archeological sites or cemeteries? No

Comments:

Last Updated By: Jon H Budd Last Updated Date: 08/02/2017 08:30:12

August 9, 2017

RE: CSJ: 0008-13-124; IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd

To: Representatives of Federally-recognized Tribes with Interest in this Project Area

The above referenced transportation project is being considered for construction by the Federal Highway Administration (FHWA) and the Texas Department of Transportation (TxDOT). Environmental studies are in the process of being conducted for this project. The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT.

The purpose of this letter is to contact you in order to consult with your Tribe pursuant to stipulations of the Programmatic Agreement among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings (PA-TU). The project is located in an area that is of interest to your Tribe.

Undertaking Description

The Texas Department of Transportation (TxDOT) is proposing to reconstruct Interstate Highway 820 (I-820) and State Highway (SH) 121 interchange in northern Tarrant County. These improvements would also include the addition of connections providing direct access between SH 121 with I-820 and SH 121 with Trinity Boulevard (Blvd). All cross drainage structures, including the bridge over the West Fork of the Trinity River would be replaced or upgraded to match the wider roadway. Approximately 23 acres of proposed new right of way (ROW) would be required. The Attached Exhibit A is the TxDOT Archeological Background Study and illustrates the project vicinity within the State of Texas, the project vicinity within Travis County, the project location on the relevant USGS Topographic Map, and the Project Plans.

Area of Potential Effects

The project's area of potential effects (APE) comprises the following area.

- The project limits extend from 3,200 feet south of Randol Mill Rd to 2,000 feet north of Pipeline Road (Rd)/Glenview Drive (Dr) along IH 820 and along SH 121 from approximately 5,000 feet west of Handley-Ederville Rd to the southern I-820/SH 121 interchange. The total project length is thus 29,620.8 feet (5.61 miles).

- The existing right of way is 350 to 550 feet in width.
- The existing right of way comprises an area estimated at 177 acres.
- Approximately 23 acres of proposed new right of way would be required. These 23 acres are illustrated on the Project Plan Maps (Figure 5 in Exhibit A).
- According to typical highway design, the depth of impacts will be up to 50 below the current ground surface for the bridge and overpass supports and up to 10 feet for the remainder of the project.
- For the purposes of this cultural resources review, the APE also includes an additional 50-foot area around the previously-described horizontal dimensions to account for potential alterations to the proposed APE included in the final project design. Consultation would be continued if potential impacts extend beyond this additional area, based on the final design.

Identification Efforts

For this project, TxDOT has conducted a desktop-based study of available background information.

- Approximately 85% of the APE lies entirely within an area of ancient sediments with little potential to bury and preserve archeological materials (see Figures 6 and 7 in Exhibit A). These sediments formed well before the generally accepted arrival time of humans into Tarrant County (12,000 years ago). Therefore, any archeological artifacts and features would be limited to on or near the current ground surface. These would have been subject to erosion, weathering, trampling, breakage, and mixing with other temporal components making it extremely difficult, if not impossible for these to yield information important to history or prehistory. TxDOT recommends that no further survey or work is warranted for these areas.
- The remaining 15% of the sediments underlying the APE are associated with recent aged alluvium that has historically demonstrated potential for the presence of buried intact archeological deposits. These areas are located within the APE in the vicinity of the West Fork of the Trinity River. However, TxDOT previously conducted an archeological assessment of these areas in 2003 and included the 23 acres of proposed new right of way and the bridge replacement at the West Fork of the Trinity River. This investigation confirmed that the setting has been extensively disturbed due to bulldozing associated with roadway construction and urban development. A more thorough explanation of the disturbances is provided in the Conclusions and Recommendations Section of that report and is attached to Figure 8 in Exhibit A.
- Much of the sediments within the APE have been previously disturbed by construction and modern land use practices. These activities would have destroyed more fragile archeological materials and would have moved more durable materials from their original location. Any sites that may occur within the APE would likely lack sufficient integrity of location, association, and materials to be able to address important questions of history and prehistory (36 CFR 60.4).
- A large portion of the APE has been previously assessed, and identified no sites.

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- Based on the foregoing factors, there is little to no reason to expect archeological historic properties (36 CFR 800.16(l)) to be located within the APE.

Findings and Recommendations

Based on the above, TxDOT proposes the following findings and recommendations:

- A desktop review has found that no archeological historic properties (36 CFR 800.16(l)) would be affected by this proposed undertaking and the proposed project may proceed to construction;
- A large part of the APE was previously assessed archeologically by TxDOT in 2003 via an Archeological Impact Evaluation. This includes the areas delineated on the map listed as Figure 9 in Exhibit A. That Impact Evaluation and related Section 106/ACT consultation was under CSJ: 0008-13-123. That assessment and related consultation included the bridge replacement on IH 820 at the West Fork of the Trinity River. The results of the investigation confirmed that the assessed area lack potential for the presence of historic and prehistoric archeological sites that would yield information important to understanding the prehistoric or historic development in Tarrant County. TxDOT recommends no further work in these areas.
- A total of three areas totally 99.23 acres have been added to the project design since the 2003 consultation. These areas are also delineated on Figure 9 and Figure 12 above. There are no previously recorded archeological sites or known cemeteries located in or near these three areas. All of three of these areas are limited to the existing IH 820 and SH 121 ROW that has been extensively disturbed due to bulldozing associated with the original construction of the IH 820 and SH 121 roadways. Regardless of geology and soil types, any archeological features and artifacts would have been broken, mixed, and pushed out of any original deposition context making it very difficult if not impossible for these materials to yield new, significant, information important to prehistory. TxDOT therefore recommends that no survey is recommended in these three areas.
- TxDOT recommends that the inventory of the entire APE is complete, for a finding of no archeological historic properties affected, and no further archeological work or consultation is required.
- That a zone of 50 feet beyond the horizontal project limits be considered as part of the cultural resources evaluation; and
- If any future changes to the project APE extend beyond the additional 50-foot zone or if archeological deposits are discovered, your Tribe would then be contacted for further consultation.

According to our procedures and agreements currently in place regarding consultation under Section 106 of the National Historic Preservation Act, we are writing to request your comments on historic properties of cultural or religious significance to your Tribe that may be affected by the proposed project APE and the area within the above defined buffer. Any comments you may have on the TxDOT findings and recommendations should also be provided. Please provide your comments within 30 days of receipt of this letter. Any comments provided after that time will be addressed to the fullest extent possible. If you do not object that the proposed findings and recommendations are

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appropriate, please sign below to indicate your concurrence. In the event that further work discloses the presence of archeological deposits, we will contact your Tribe to continue consultation.

Thank you for your attention to this matter. If you have questions, please contact Laura Cruzada at 512/416-2638 (email: Laura.Cruzada@txdot.gov) or Chantal McKenzie at 512/416-2770 (email: Chantal.McKenzie@txdot.gov). When replying to this correspondence by US Mail, please ensure that the envelope address includes reference to the Archeological Studies Branch, Environmental Affairs Division.

Sincerely,



Scott Pletka, Deputy Section Director
Environmental Affairs Division

Concurrence by:

Date:

Enclosure

cc w/ enclosure: ENV-ARCH ECOS

CSJ: 0008-13-124, Tarrant County

August 9, 2017

Exhibit A

TxDOT Archeological Background Study Supporting Documentation

FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd CSJ: 0008-13-124

Jon Budd – TxDOT staff archeologist

July 26, 2017

Project Description

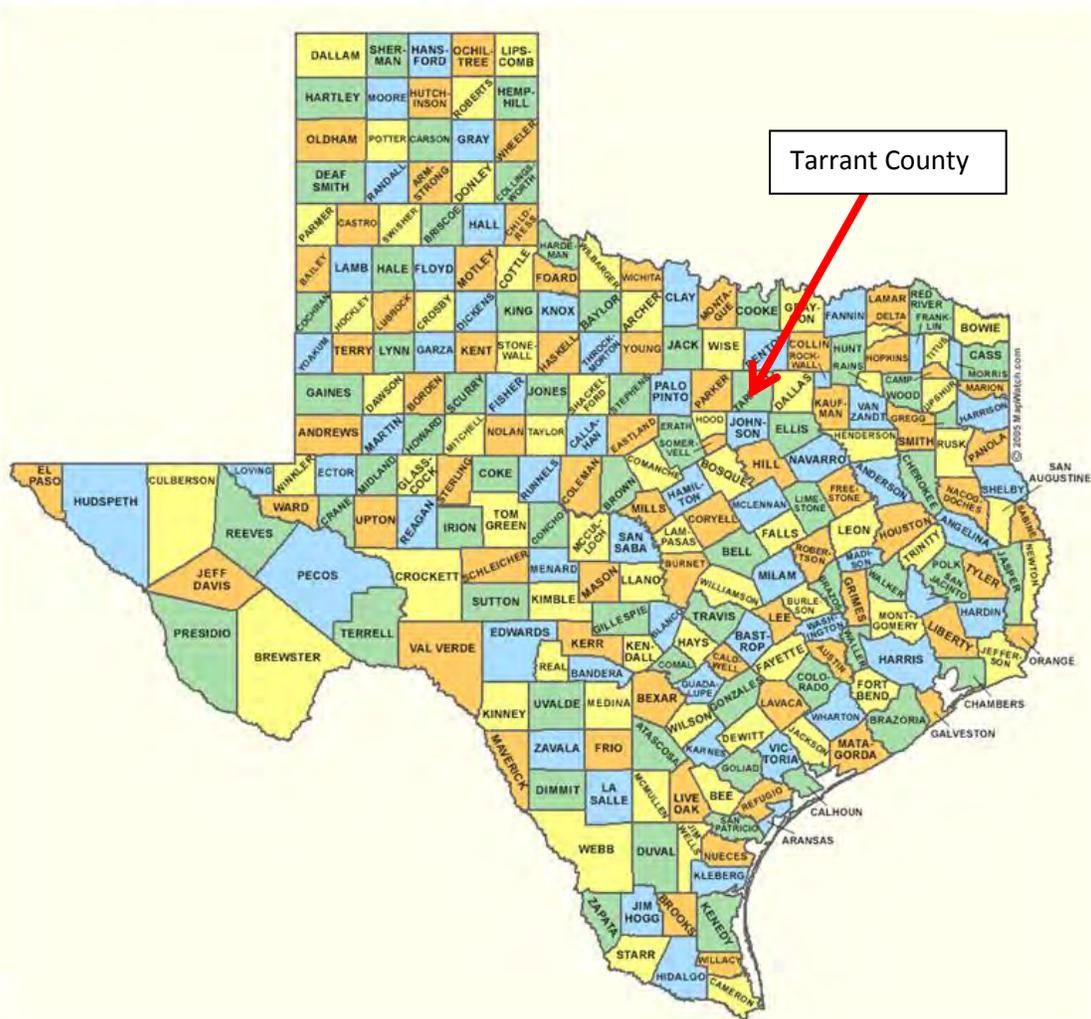
The Texas Department of Transportation (TxDOT) is proposing to reconstruct Interstate Highway 820 (I-820) and State Highway (SH) 121 interchange in northern Tarrant County. The proposed project would reconstruct I-820 from approximately 3,200 feet south of Randol Mill Rd to 2,000 feet north of Pipeline Road (Rd)/Glenview Drive (Dr). Additionally, SH 121 would be reconstructed from approximately 5,000 feet west of Handley-Ederville Rd to the southern I-820/SH 121 interchange. These improvements would also include the addition of connections providing direct access between SH 121 with I-820 and SH 121 with Trinity Boulevard (Blvd). All cross drainage structures, including the bridge over the West Fork of the Trinity River would be replaced or upgraded to match the wider roadway. Approximately 23 acres of proposed new right of way (ROW) would be required.

Definition of the Undertaking's Area of Potential Effects (APE)

The APE is defined as the existing 350 to 375 foot wide existing IH 820 ROW beginning 3,200 feet south of Randol Mill Road and extending 4.11 miles north to 2,000 feet north of Pipeline Road/Glenview Drive. The APE also includes the 500 to 550 foot wide SH 121 ROW beginning at 5,000 feet west of Handley-Ederville Road and extending 1.5 miles west to IH 820. In addition, the APE includes approximately 23 acres of proposed new ROW that is depicted on Figure 5: Project Plans. According to typical highway design, the depth of impacts will be up to 50 below the current ground surface for the bridge and overpass supports and up to 20 feet for the remainder of the project. The APE is comprised of approximately 177 acres.

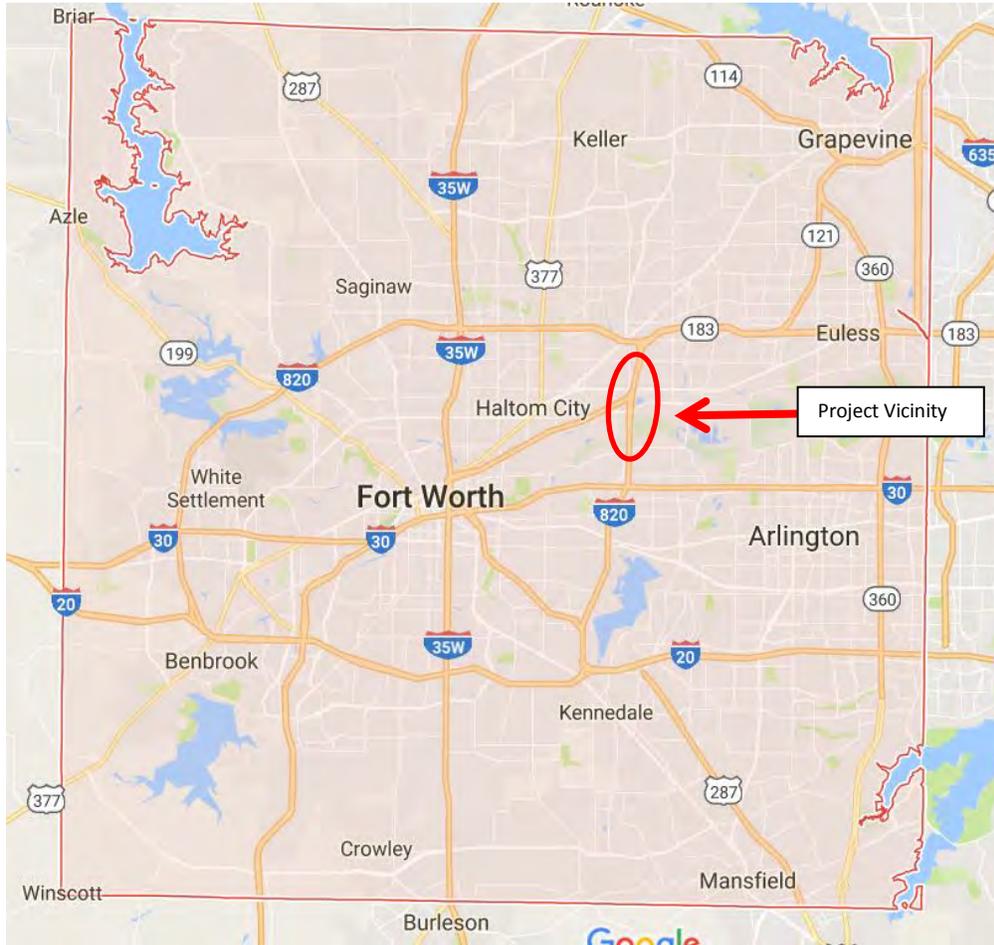
TxDOT Archeological Background Study Supporting Documentation
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and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-
Ederville Rd CSJ: 0008-13-124
Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 1: Project Vicinity within the State of Texas



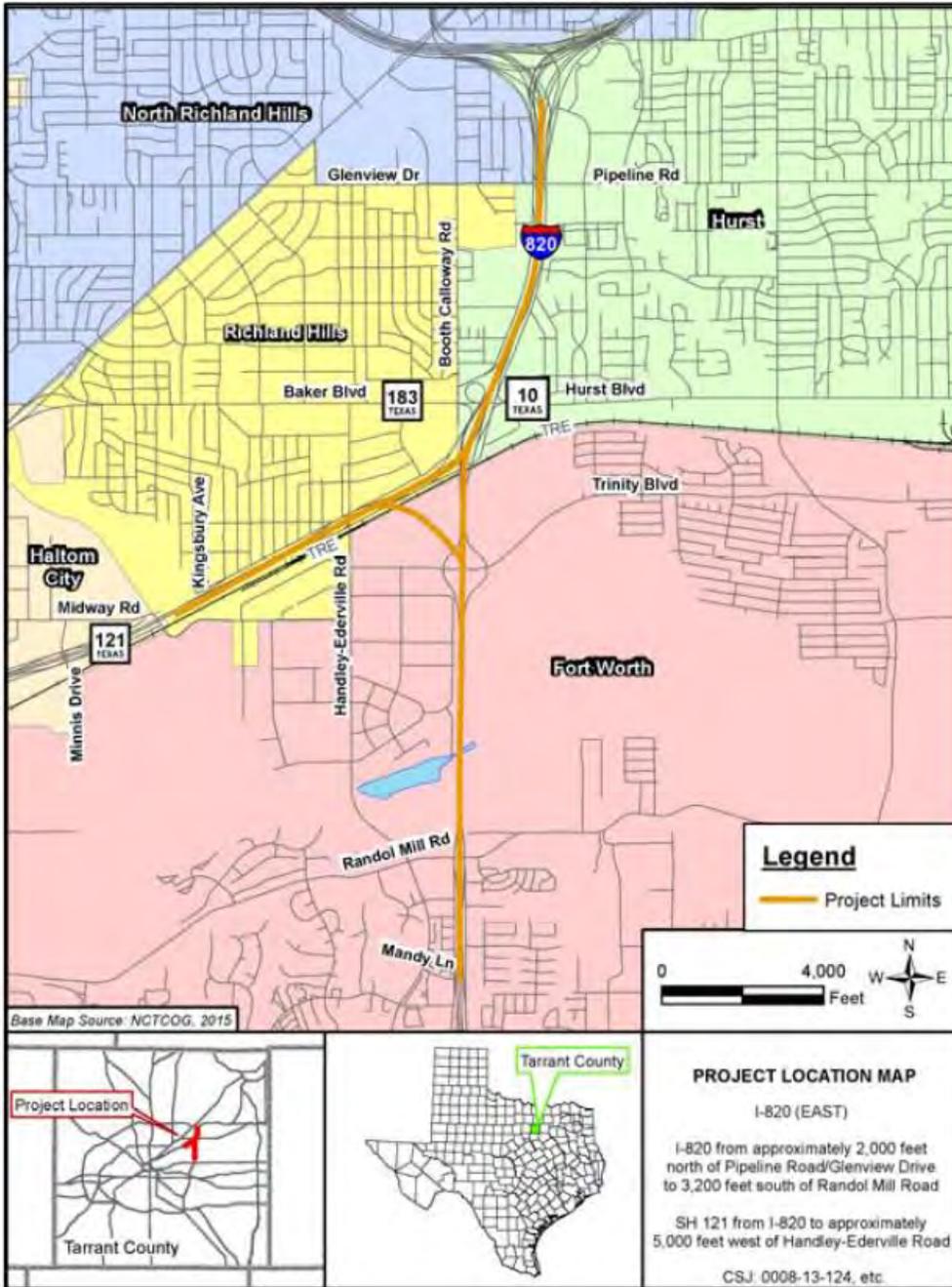
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Figure 2: Project Location in Hartley County



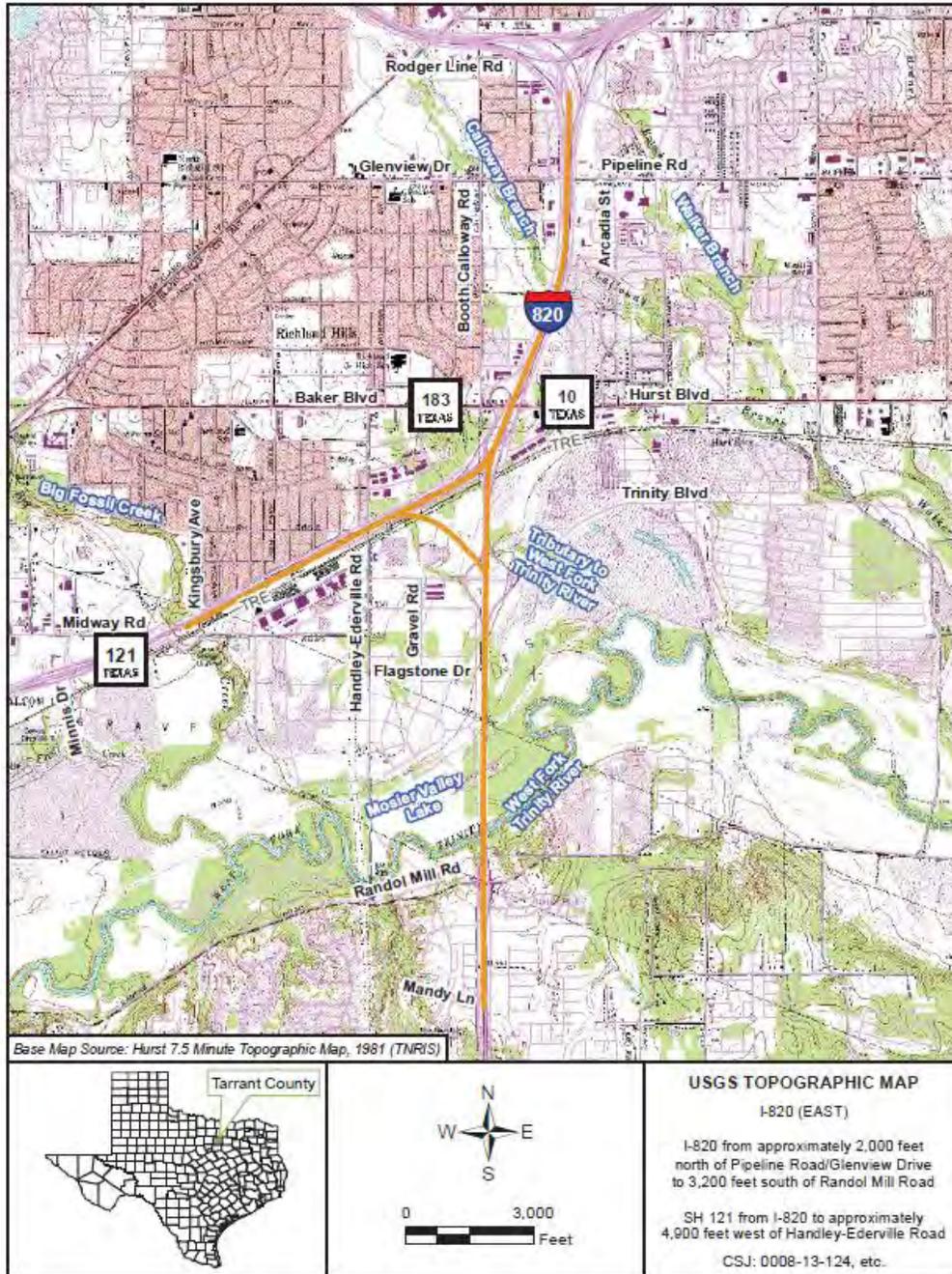
TxDOT Archeological Background Study Supporting Documentation
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Figure 3: Project Location in Relation to the Communities near Fort Worth in Tarrant County



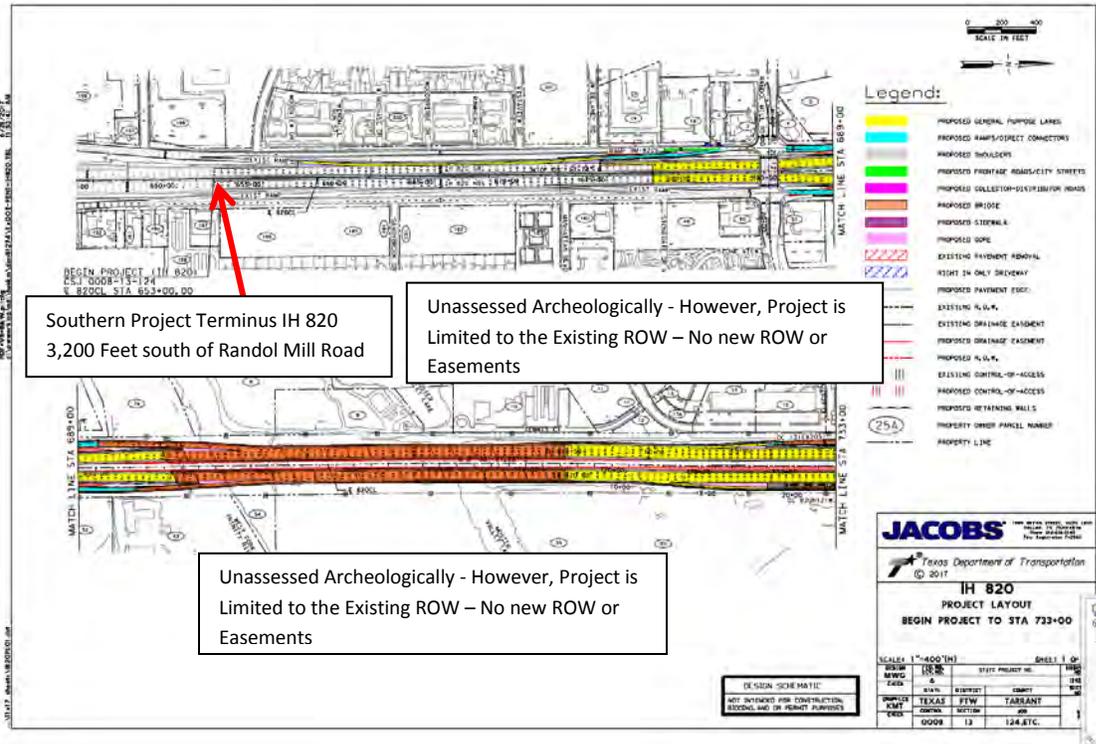
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Figure 4: Project Location: Hurst (3502-423) USGS Topographic Quadrangle



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Figure 5: Project Plans

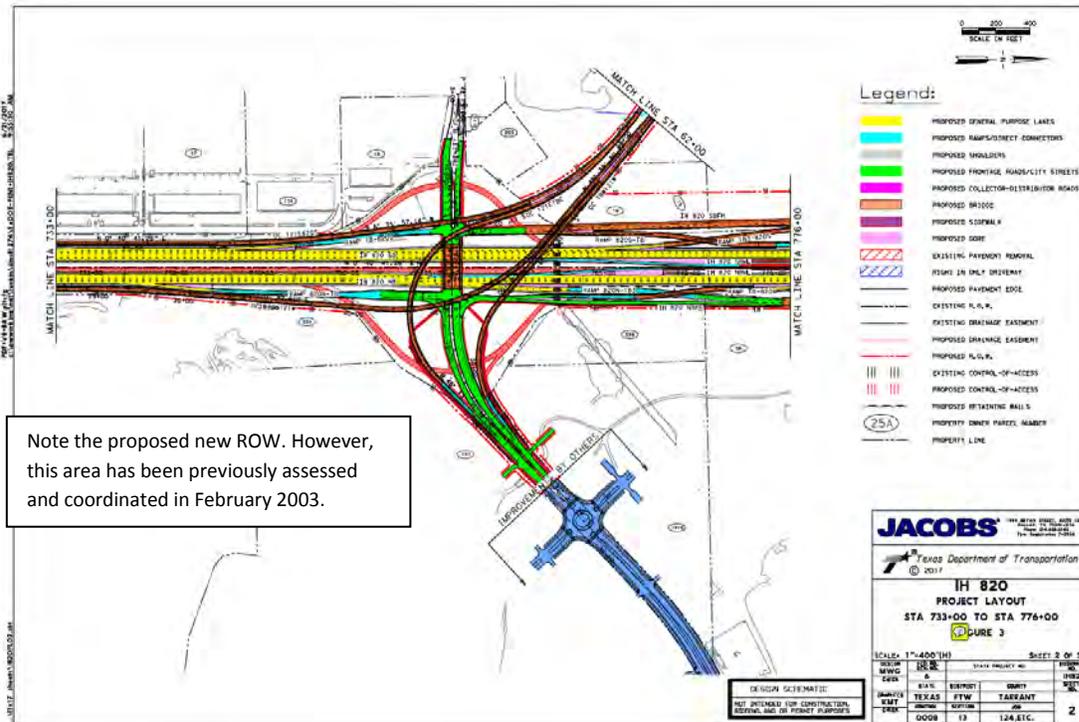


Southern Project Terminus IH 820
 3,200 Feet south of Randol Mill Road

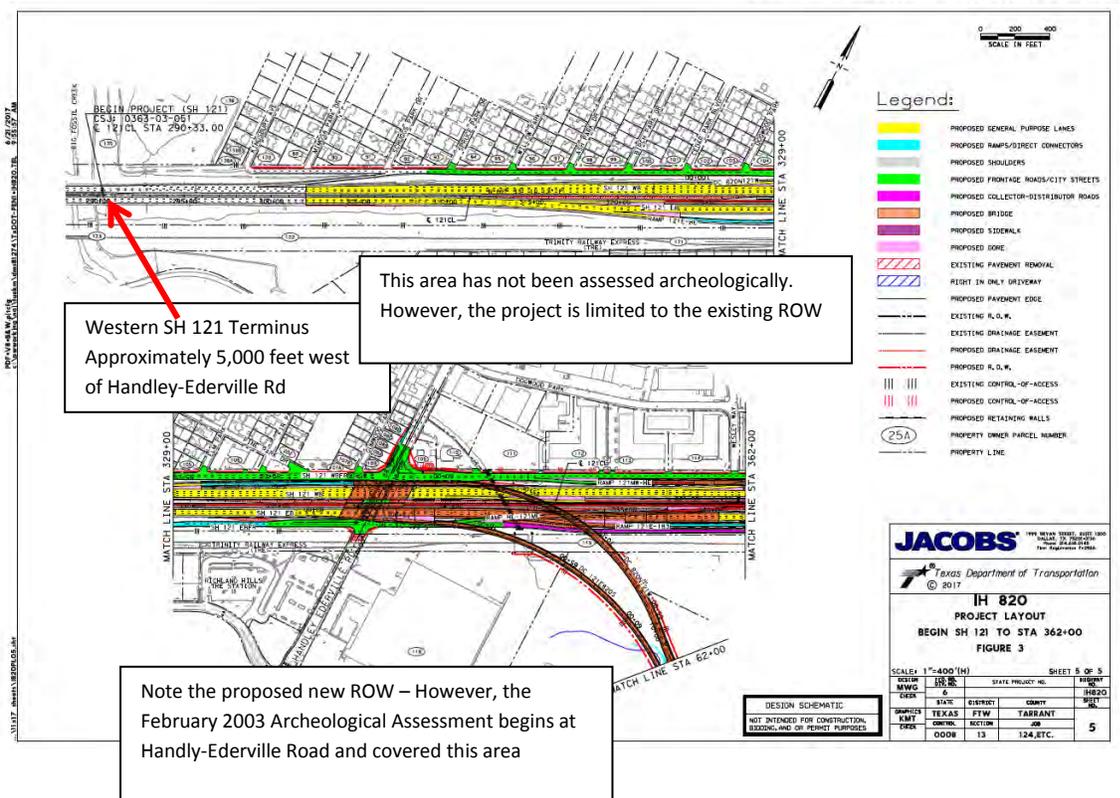
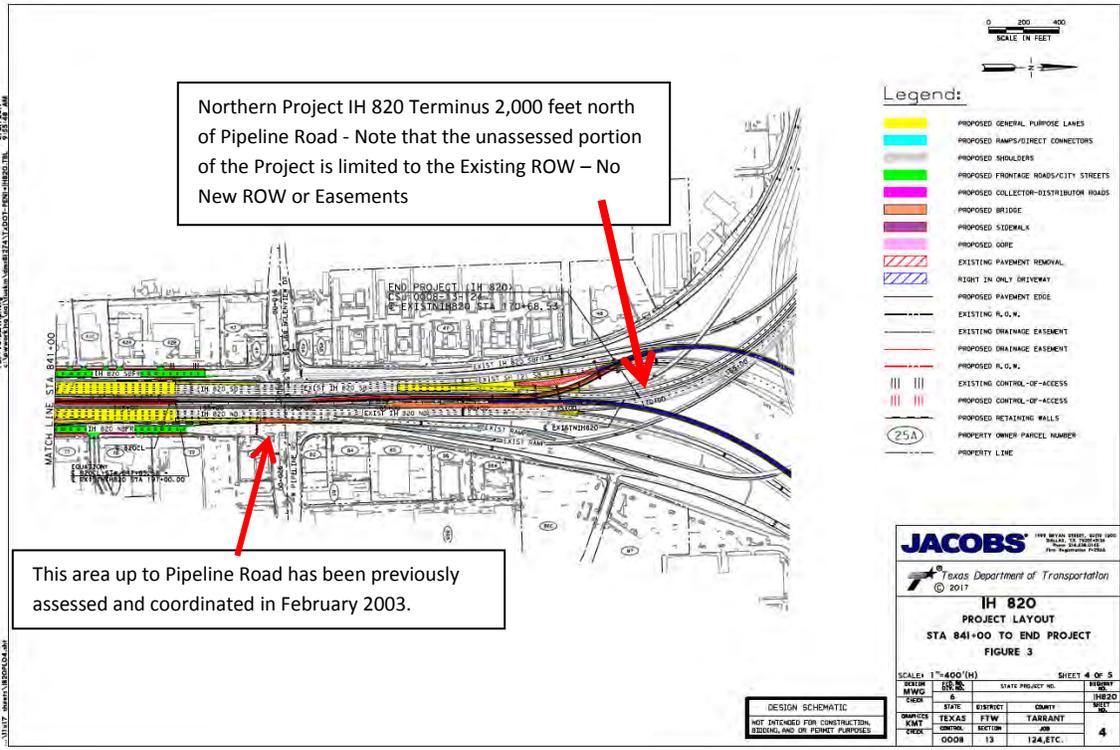
Unassessed Archeologically - However, Project is
 Limited to the Existing ROW – No new ROW or
 Easements

Unassessed Archeologically - However, Project is
 Limited to the Existing ROW – No new ROW or
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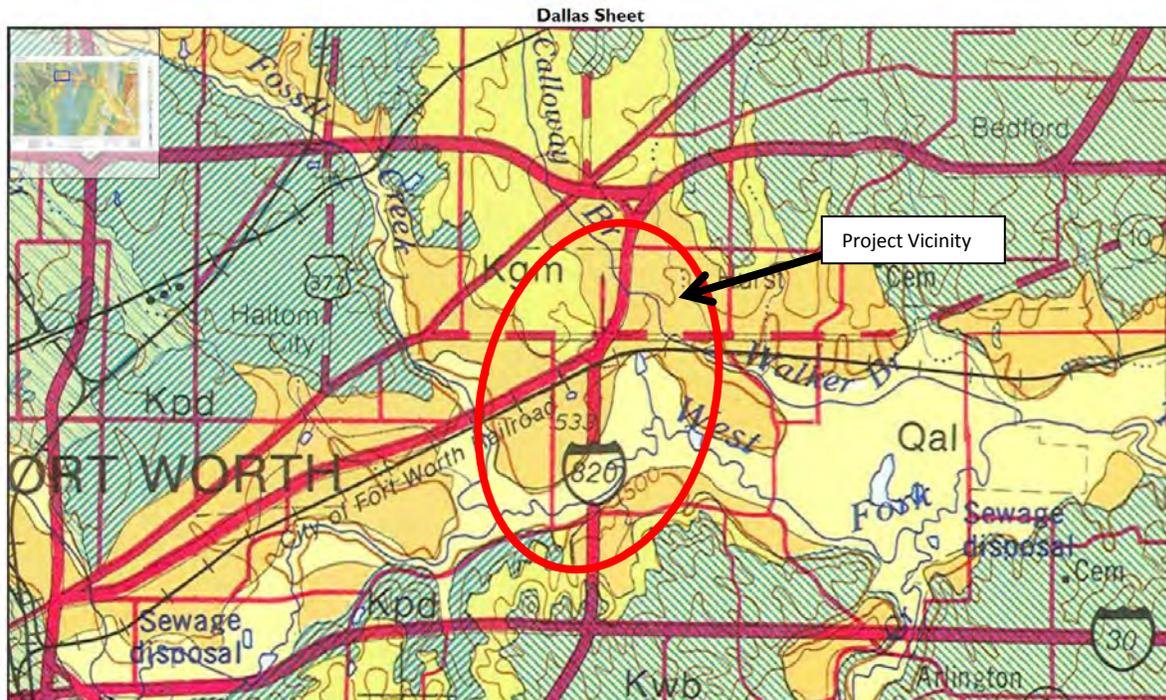


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Figure 6: The Project Vicinity in Relation to the Dallas Sheet of the Geologic Atlas of Texas



Kgm: Cretaceous aged geologic formations

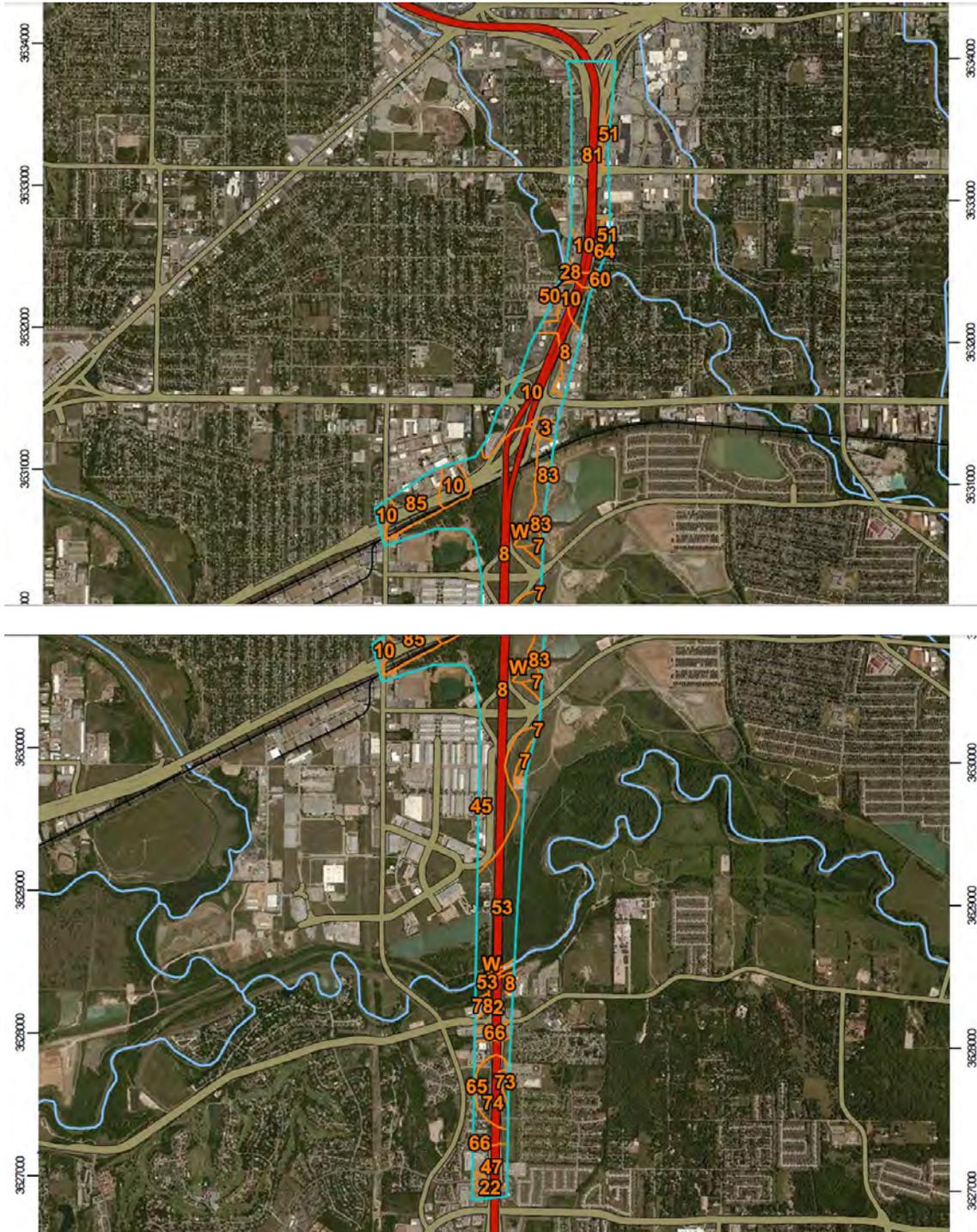
Qt: Pliocene aged ancient Fluvial Terrace Deposits

Kgm and Qt both formed prior to the arrival of Humans 12,000 years ago. Both possess very limited potential for the presence of intact archeological deposits.

Qal: Recent Holocene aged sediments that have historically demonstrated potential for the presence of buried intact archeological deposits. The QAL IS located within the APE near the West Fork of the Trinity River.

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Figure 7: Project Location in Relation to the Soil Survey of Tarrant County



TxDOT Archeological Background Study Supporting Documentation
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Map Unit Legend

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Bolar-Aledo complex, 3 to 20 percent slopes	14.3	2.3%
3	Aledo-Bolar-Urban land complex, 3 to 20 percent slopes	5.1	0.8%
7	Arents, frequently flooded	7.0	1.1%
8	Arents, loamy	204.0	32.3%
9	Bastil fine sandy loam, 0 to 3 percent slopes	12.4	2.0%
10	Bastil-Urban land complex, 0 to 5 percent slopes	101.7	16.1%
22	Crosetell fine sandy loam, 3 to 8 percent slopes	6.0	0.9%
28	Frio-Urban land complex, occasionally flooded	2.3	0.4%
45	Mabank fine sandy loam, 0 to 1 percent slopes	0.6	0.1%
47	Medlin clay, 5 to 15 percent slopes	16.0	2.5%
50	Navo clay loam, 1 to 3 percent slopes	0.7	0.1%
51	Navo-Urban land complex, 1 to 3 percent slopes	7.5	1.2%
53	Ovan clay, occasionally flooded	80.1	12.7%
60	Pulexas-Urban land complex, occasionally flooded	3.5	0.6%
64	Rader-Urban land complex, 0 to 3 percent slopes	0.3	0.1%
65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%

65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%
68	Sanger clay, 3 to 5 percent slopes	7.8	1.2%
73	Slidell clay, 0 to 1 percent slopes	2.7	0.4%
74	Slidell clay, 1 to 3 percent slopes	21.5	3.4%
79	Sunev clay loam, 3 to 8 percent slopes	2.9	0.5%
81	Urban land	81.2	12.9%
83	Whitesboro loam, frequently flooded	2.6	0.4%

Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey 7. Pa

Map—Tarrant County, Texas

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
95	Wilson-Urban land complex, 0 to 2 percent slopes	26.8	4.2%
W	Water	5.4	0.8%
Totals for Area of Interest		631.3	100.0%

Sediment types with little to no potential for the presence of intact archeological deposits.

Urban Land: 81 and 85

Upland sediments with bedrock within 0 to 60 inches: 2, 3, and 22

TxDOT Archeological Background Study Supporting Documentation

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Upland sediments with sediments deeper than 80 inches: 47, 50, 51, 65, 66, 73, and 74

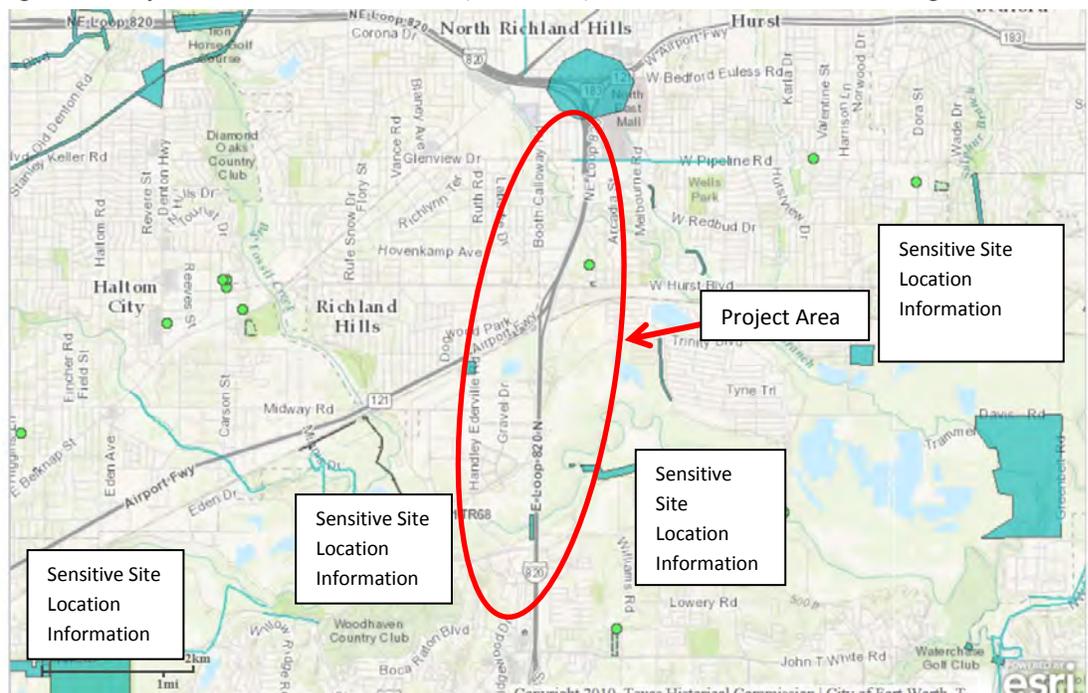
Sediment types with moderate potential for the presence of intact archeological deposits

Pleistocene aged stream terraces: 7, 8, 9, 10, 45, 64, and 78.

Sediment types possessing high potential for the presence of intact archeological deposits

Floodplains: 28, 53, 60, and 83

Figure 8: Project Location on the Hurst (3502-423) Quad of the Texas Archeological Sites Atlas



There have been no archeological sites previously recorded in or adjacent to the APE. 41TR68 is located nearly 1 kilometer away from the APE and will not be impacted.

Section 106 and Antiquities Code of Texas (ACT) for a large part of the APE has been previously conducted in February 2003 by TxDOT under CSJ: 0008-13-123. A copy of the map depicting the extent of the 2003 archeological assessment conducted under an Archeological Impact Evaluation is attached immediately below. Please note that this assessment is not documented on the Texas Archeological Sites Atlas. A copy of the related Archeological Impact Evaluation Report and related Section 106/ACT consultation is available for downloading from the TxDOT Environmental Tracking System Project File (ECOS) under the current CSJ: 0008-13-124 or available upon request from the TxDOT Archeological Studies Program. However, the Conclusions and Recommendations Section is provided below.

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Conclusions and Recommendations Section of the 2003 TxDOT Impact Evaluation for the IH 820 Project
CSJ: 0008-13-123

Results of Assessment

No settings with reasonable potential to contain archeological historic properties or SALs were observed.

Recommendations

TxDOT seeks concurrence that no settings with reasonable potential to contain archeological historic properties (36 CFR 800.16.(l)) or SALs (13 TAC §26.12) were noted during this evaluation. In accordance with the PA and MOU, no further work is recommended and no further consultation is required.

Comments and Justification

The project is depicted on the attached section of USGS Hurst [3297-442] 7.5' topographic quad. Photos of the area are also attached, though traffic considerations prevented photography of all areas.

Beginning at the north end of the project, areas adjacent to both sides of the existing disturbed highway right of way between Pipeline Road/Glenview Drive and Calloway Branch have been extensively developed, with utilities, car parks, and buildings (Photos 493 and 495).

Calloway Branch has been extensively disturbed on the north bank, there is a buried sewer line along the creek, and the south bank is concrete-lined, with developed areas to the south (Photos 496, 498, 499).

From Calloway Branch to Baker Boulevard West/West Hurst Boulevard both sides of the existing disturbed right of way have been developed (Photos 501, 503).

IH-820 crosses SH 121 and the Chicago, Rock Island, and Pacific RR (Trinity Railway Express) on a bridge section (Photo 504). Most of the area of proposed new right of way west of the highway, between the railroad and Trinity Boulevard is within a reclaimed mining area. Similarly, all of the proposed right of way east of the highway has been extensively mined, with a cut drainage channel and a large pond being present.

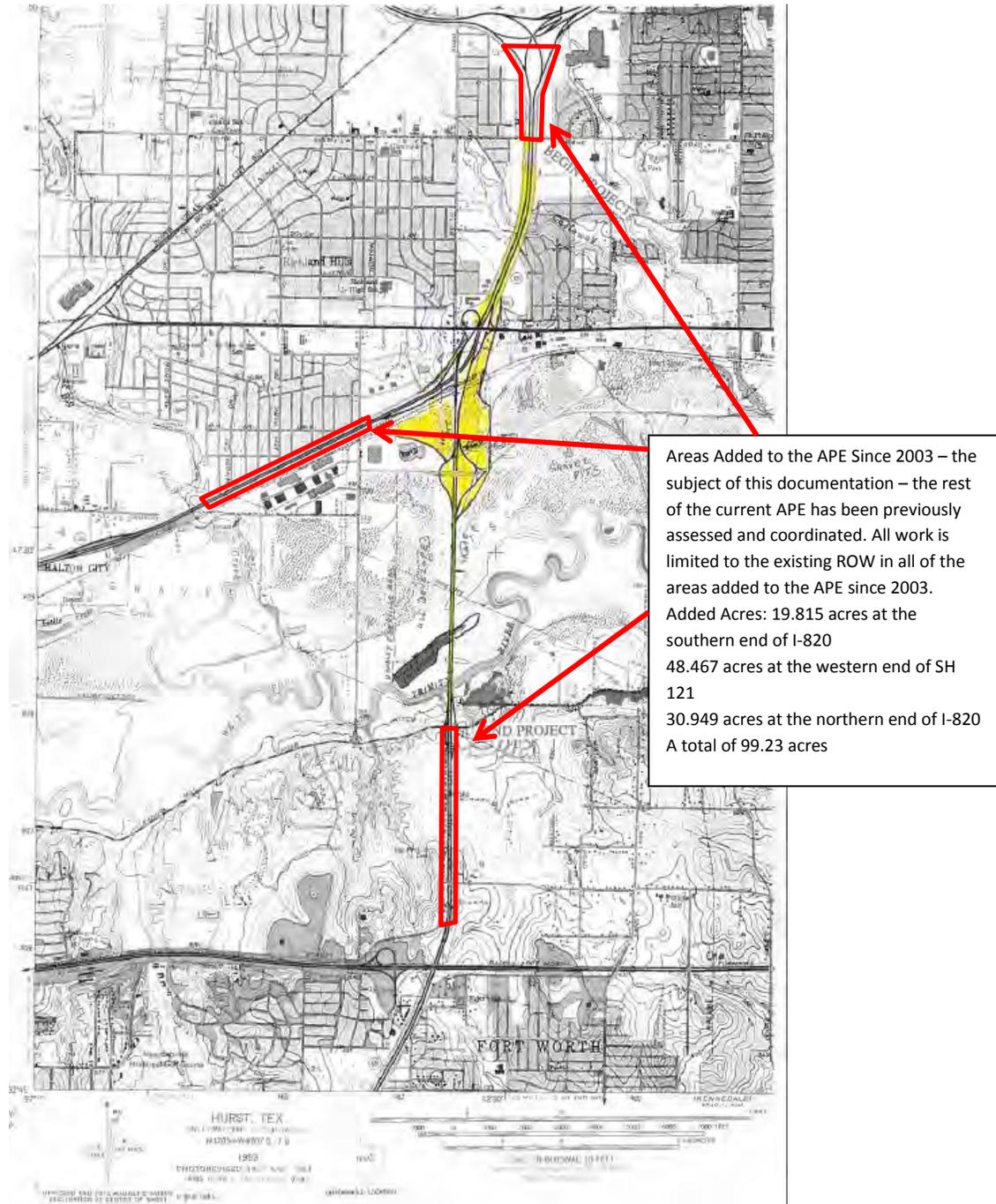
South of Trinity Boulevard to the Trinity River channel, the area west of the highway has been extensively developed since 1973, and the small slough depicted on the quad north of the Trinity River channel has been considerably expanded to become Moiser Valley Lake. Reclaimed mining land is adjacent to the existing right of way east of the highway, for about the northern half of the segment. The southern half of the segment is within a conservation easement, but no new right of way will be acquired from the easement.

The banks and channel of the Trinity River channel exhibited considerable erosion around the existing bridge columns from the channel, and there were numerous deep eroding gullies in the banks. The numerous cuts and exposures did not reveal any cultural material (Photos 510, 511, 512, 514).

Since the 2003 assessment and consultation, the project design has changed to incorporate an additional 99.23 acres of existing IH 820 and SH 121 ROW located in three non-continuous areas. These areas are delineated on Figures 9 and 12 below. In addition, the original need for 59 acres of proposed new ROW has been omitted. A new total of 23 acres of proposed new ROW is currently needed.

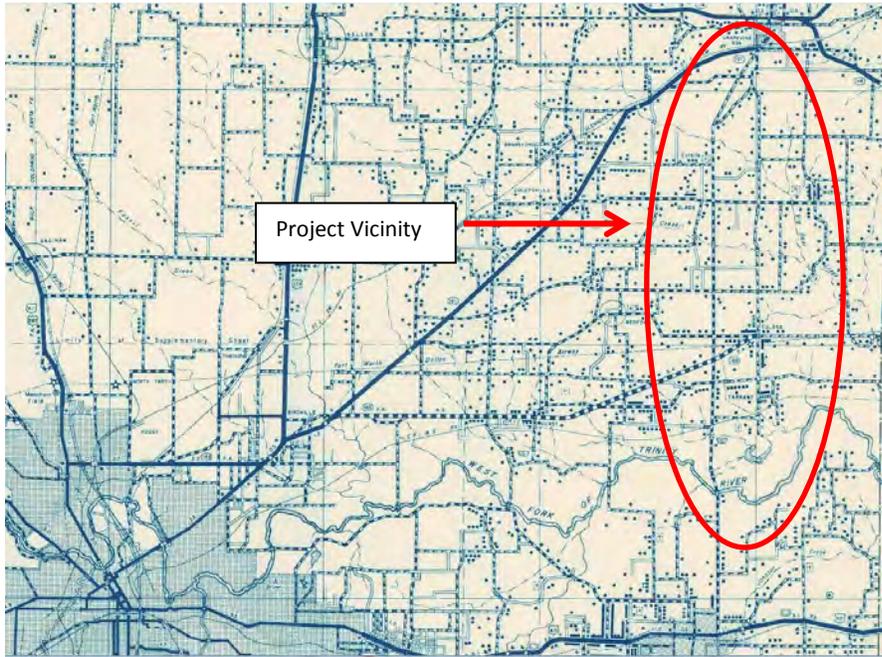
TxDOT Archeological Background Study Supporting Documentation
FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road
and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-
Ederville Rd CSJ: 0008-13-124
Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 9: Spatial Extent of the February 2003 TxDOT Archeological Impact Evaluation: Hurst (3502-423)
USGS Topographic Quadrangle



TxDOT Archeological Background Study Supporting Documentation
FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road
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Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 10: 1936 Texas State Highway Department of Tarrant County



IH 820 does not appear on this 1936 Map. There does appear to have been residences and or commercial structures in or near the current APE. However, the areas where new ROW are proposed has been previously assesses archeologically and coordinated under Section 106/ACT. The remaining areas that have not been assessed or coordinated are limited to the existing ROW that has been disturbed due to bulldozing associated with the original IH 820 and SH 121 roadway construction.

TxDOT Archeological Background Study Supporting Documentation

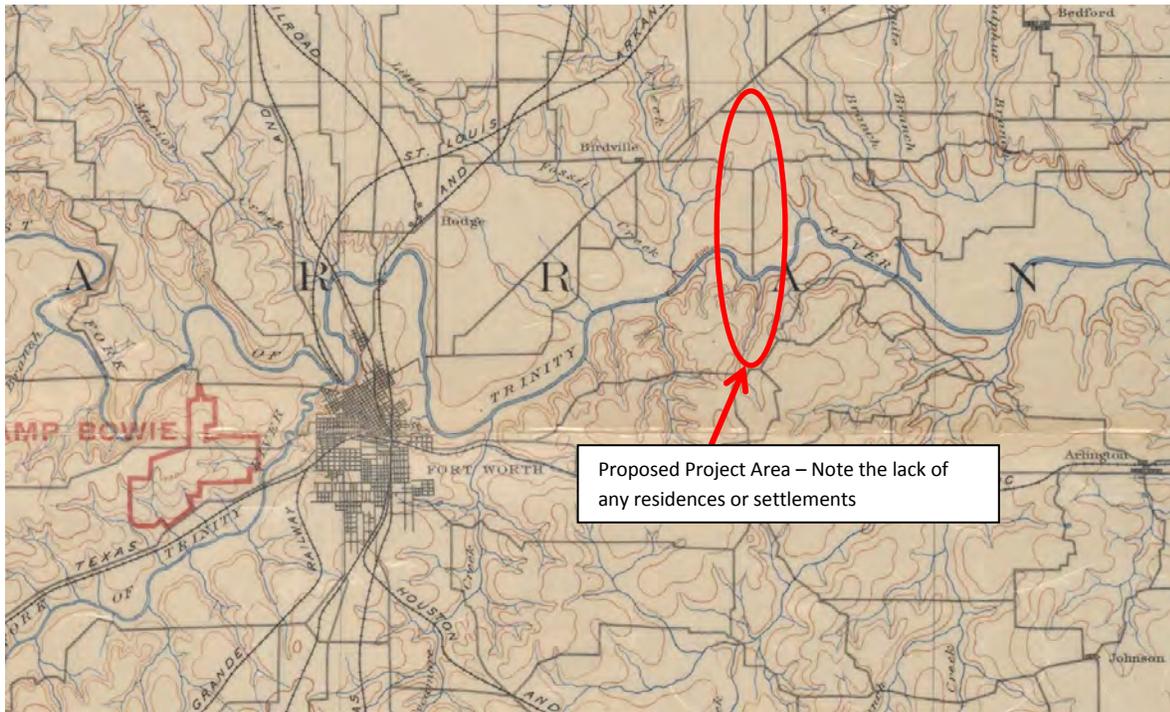
FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd CSJ: 0008-13-124

Jon Budd – TxDOT staff archeologist

July 26, 2017

Figure 11: 1889 Fort Worth, Texas 15' USGS Topographic Map

http://www.lib.utexas.edu/maps/topo/texas/txu-pclmaps-topo-tx-fort_worth-1889.jpg



Note the lack of residences or settlements in the proposed project area on the 1889 Map.

TxDOT Archeological Background Study Supporting Documentation
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Figure 12: August 2, 2017 Google Earth Aerial of the Areas Added to the APE Since the 2003 Consultation



These areas are limited to the existing ROW that has been previously disturbed due to bulldozing associated the original IH 820 and SH 121 roadway construction

Conclusion/Recommendations:

A large part of the APE was previously assessed archeologically by TxDOT in 2003 via an Archeological Impact Evaluation. This includes the areas delineated on the map listed as Figure 9 above. That Impact Evaluation and related Section 106/ACT consultation was under CSJ: 0008-13-123. That assessment and related consultation included the bridge replacement on IH 820 at the West Fork of the Trinity River.

A total of three areas totally 99.23 acres have been added to the project design since the 2003 consultation. These areas are also delineated on Figure 9 and Figure 12 above. There are no previously recorded archeological sites or known cemeteries located in or near these three areas. All of three of these areas are limited to the existing IH 820 and SH 121 ROW that has been extensively disturbed due to bulldozing associated with the original construction of the IH 820 and SH 121 roadways. Regardless of geology and soil types, any archeological features and artifacts would have been broken, mixed, and pushed out of any original deposition context making it very difficult if not impossible for these materials to yield new, significant, information important to prehistory. TxDOT therefore recommends that no survey is recommended in these three areas.

TxDOT recommends that the inventory of the entire APE is complete, for a finding of no archeological historic properties affected, and no further archeological work or consultation is required.

Sarah Stroman

From: Sarah Stroman
Sent: Wednesday, August 09, 2017 12:08 PM
To: 'epa4apachetribeok@gmail.com'; 'pcross@caddonation.org';
'david.cook@kialegeetribe.net'; 'jennie.hernandez@kttribe.org';
'Arturo.Garza@kttribe.org'; 'kentcollier2000@yahoo.com'; 'dpacheo@okkt.net';
'kellie@tribaladminsivices.org'; 'Ivy@tribaladminsivices.org'; 'holly@mathpo.org';
'rthrower@pci-nsn.gov'; 'kpenrod@delawarenation.com'; 'jross@delawarenation.com';
'gary.mcadams@wichitatribe.com'; 'Terri.Parton@wichitatribe.com'
Subject: Section 106 Consultation, Texas Department of Transportation, CSJ: 0008-13-124; IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of
Attachments: 000813124_Consultation_Request_08-09-2017.pdf

Sec. 106 Consultation

AUGUST 9, 2017

We kindly request your comments regarding a proposed undertaking. Please see the attached info for project details and information. A summary is provided below.

Summary:

<i>Project ID (CSJ), County and TxDOT District</i>	<i>CSJ: 0008-13-124; IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd; Tarrant County, Fort Worth District</i>
<i>Project Sponsor:</i>	<i>TxDOT</i>
<i>Short Description:</i>	<i>Road reconstruction and direct access connections</i>
<i>New Right of Way:</i>	<i>23 acres</i>
<i>Depth of Impacts:</i>	<i>10 – 50 ft.</i>
<i>Known Archeological Sites or Properties in project area:</i>	<i>No</i>
<i>Identification Efforts:</i>	<i>Desktop Review</i>
<i>Recommendations:</i>	<i>No sites or impacts; proceed to construction</i>

Contacts:

[Chantal McKenzie](#)

512-416-2770

[Laura Cruzada](#)

512-416-2368

Sarah G. Stroman

Texas Department of Transportation
Environmental Affairs Division
118 E. Riverside Drive
Austin, TX 78704

512/416-2608 Office
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512/416-2746 Fax

Mailing Address:
125 E. 11th Street
Austin, TX 78701

Sarah.Stroman@txdot.gov

August 9, 2017

RE: CSJ: 0008-13-124; IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd

To: Representatives of Federally-recognized Tribes with Interest in this Project Area

The above referenced transportation project is being considered for construction by the Federal Highway Administration (FHWA) and the Texas Department of Transportation (TxDOT). Environmental studies are in the process of being conducted for this project. The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT.

The purpose of this letter is to contact you in order to consult with your Tribe pursuant to stipulations of the Programmatic Agreement among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings (PA-TU). The project is located in an area that is of interest to your Tribe.

Undertaking Description

The Texas Department of Transportation (TxDOT) is proposing to reconstruct Interstate Highway 820 (I-820) and State Highway (SH) 121 interchange in northern Tarrant County. These improvements would also include the addition of connections providing direct access between SH 121 with I-820 and SH 121 with Trinity Boulevard (Blvd). All cross drainage structures, including the bridge over the West Fork of the Trinity River would be replaced or upgraded to match the wider roadway. Approximately 23 acres of proposed new right of way (ROW) would be required. The Attached Exhibit A is the TxDOT Archeological Background Study and illustrates the project vicinity within the State of Texas, the project vicinity within Travis County, the project location on the relevant USGS Topographic Map, and the Project Plans.

Area of Potential Effects

The project's area of potential effects (APE) comprises the following area.

- The project limits extend from 3,200 feet south of Randol Mill Rd to 2,000 feet north of Pipeline Road (Rd)/Glenview Drive (Dr) along IH 820 and along SH 121 from approximately 5,000 feet west of Handley-Ederville Rd to the southern I-820/SH 121 interchange. The total project length is thus 29,620.8 feet (5.61 miles).

- The existing right of way is 350 to 550 feet in width.
- The existing right of way comprises an area estimated at 177 acres.
- Approximately 23 acres of proposed new right of way would be required. These 23 acres are illustrated on the Project Plan Maps (Figure 5 in Exhibit A).
- According to typical highway design, the depth of impacts will be up to 50 below the current ground surface for the bridge and overpass supports and up to 10 feet for the remainder of the project.
- For the purposes of this cultural resources review, the APE also includes an additional 50-foot area around the previously-described horizontal dimensions to account for potential alterations to the proposed APE included in the final project design. Consultation would be continued if potential impacts extend beyond this additional area, based on the final design.

Identification Efforts

For this project, TxDOT has conducted a desktop-based study of available background information.

- Approximately 85% of the APE lies entirely within an area of ancient sediments with little potential to bury and preserve archeological materials (see Figures 6 and 7 in Exhibit A). These sediments formed well before the generally accepted arrival time of humans into Tarrant County (12,000 years ago). Therefore, any archeological artifacts and features would be limited to on or near the current ground surface. These would have been subject to erosion, weathering, trampling, breakage, and mixing with other temporal components making it extremely difficult, if not impossible for these to yield information important to history or prehistory. TxDOT recommends that no further survey or work is warranted for these areas.
- The remaining 15% of the sediments underlying the APE are associated with recent aged alluvium that has historically demonstrated potential for the presence of buried intact archeological deposits. These areas are located within the APE in the vicinity of the West Fork of the Trinity River. However, TxDOT previously conducted an archeological assessment of these areas in 2003 and included the 23 acres of proposed new right of way and the bridge replacement at the West Fork of the Trinity River. This investigation confirmed that the setting has been extensively disturbed due to bulldozing associated with roadway construction and urban development. A more thorough explanation of the disturbances is provided in the Conclusions and Recommendations Section of that report and is attached to Figure 8 in Exhibit A.
- Much of the sediments within the APE have been previously disturbed by construction and modern land use practices. These activities would have destroyed more fragile archeological materials and would have moved more durable materials from their original location. Any sites that may occur within the APE would likely lack sufficient integrity of location, association, and materials to be able to address important questions of history and prehistory (36 CFR 60.4).
- A large portion of the APE has been previously assessed, and identified no sites.

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- Based on the foregoing factors, there is little to no reason to expect archeological historic properties (36 CFR 800.16(l)) to be located within the APE.

Findings and Recommendations

Based on the above, TxDOT proposes the following findings and recommendations:

- A desktop review has found that no archeological historic properties (36 CFR 800.16(l)) would be affected by this proposed undertaking and the proposed project may proceed to construction;
- A large part of the APE was previously assessed archeologically by TxDOT in 2003 via an Archeological Impact Evaluation. This includes the areas delineated on the map listed as Figure 9 in Exhibit A. That Impact Evaluation and related Section 106/ACT consultation was under CSJ: 0008-13-123. That assessment and related consultation included the bridge replacement on IH 820 at the West Fork of the Trinity River. The results of the investigation confirmed that the assessed area lack potential for the presence of historic and prehistoric archeological sites that would yield information important to understanding the prehistoric or historic development in Tarrant County. TxDOT recommends no further work in these areas.
- A total of three areas totally 99.23 acres have been added to the project design since the 2003 consultation. These areas are also delineated on Figure 9 and Figure 12 above. There are no previously recorded archeological sites or known cemeteries located in or near these three areas. All of three of these areas are limited to the existing IH 820 and SH 121 ROW that has been extensively disturbed due to bulldozing associated with the original construction of the IH 820 and SH 121 roadways. Regardless of geology and soil types, any archeological features and artifacts would have been broken, mixed, and pushed out of any original deposition context making it very difficult if not impossible for these materials to yield new, significant, information important to prehistory. TxDOT therefore recommends that no survey is recommended in these three areas.
- TxDOT recommends that the inventory of the entire APE is complete, for a finding of no archeological historic properties affected, and no further archeological work or consultation is required.
- That a zone of 50 feet beyond the horizontal project limits be considered as part of the cultural resources evaluation; and
- If any future changes to the project APE extend beyond the additional 50-foot zone or if archeological deposits are discovered, your Tribe would then be contacted for further consultation.

According to our procedures and agreements currently in place regarding consultation under Section 106 of the National Historic Preservation Act, we are writing to request your comments on historic properties of cultural or religious significance to your Tribe that may be affected by the proposed project APE and the area within the above defined buffer. Any comments you may have on the TxDOT findings and recommendations should also be provided. Please provide your comments within 30 days of receipt of this letter. Any comments provided after that time will be addressed to the fullest extent possible. If you do not object that the proposed findings and recommendations are

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appropriate, please sign below to indicate your concurrence. In the event that further work discloses the presence of archeological deposits, we will contact your Tribe to continue consultation.

Thank you for your attention to this matter. If you have questions, please contact Laura Cruzada at 512/416-2638 (email: Laura.Cruzada@txdot.gov) or Chantal McKenzie at 512/416-2770 (email: Chantal.McKenzie@txdot.gov). When replying to this correspondence by US Mail, please ensure that the envelope address includes reference to the Archeological Studies Branch, Environmental Affairs Division.

Sincerely,



Scott Pletka, Deputy Section Director
Environmental Affairs Division

Kim Penrod
Delaware Nation Director, Cultural Resources/106

August 15, 2017

Concurrence by:

Date:

Enclosure

cc w/ enclosure: ENV-ARCH ECOS

CSJ: 0008-13-124, Tarrant County

August 9, 2017

Exhibit A

TxDOT Archeological Background Study Supporting Documentation

FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd CSJ: 0008-13-124

Jon Budd – TxDOT staff archeologist

July 26, 2017

Project Description

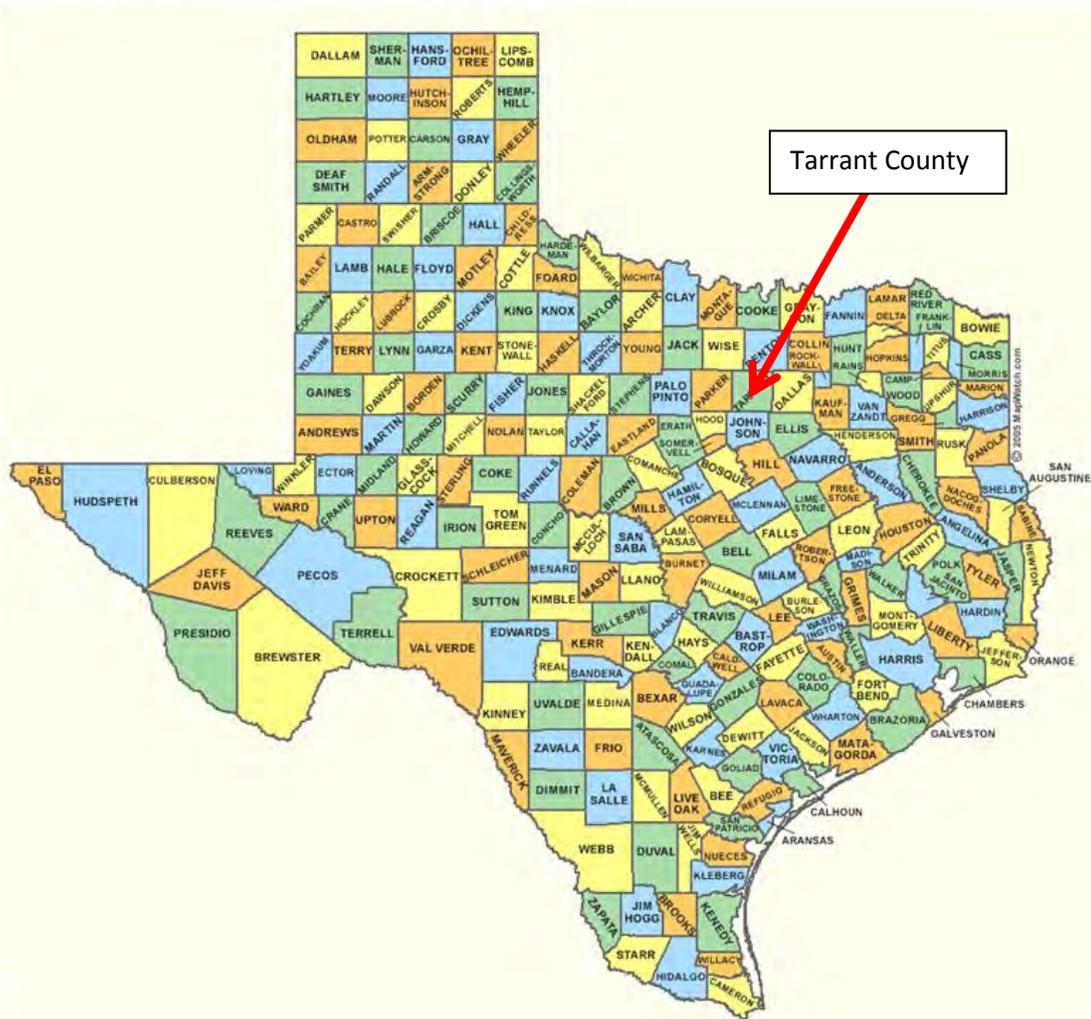
The Texas Department of Transportation (TxDOT) is proposing to reconstruct Interstate Highway 820 (I-820) and State Highway (SH) 121 interchange in northern Tarrant County. The proposed project would reconstruct I-820 from approximately 3,200 feet south of Randol Mill Rd to 2,000 feet north of Pipeline Road (Rd)/Glenview Drive (Dr). Additionally, SH 121 would be reconstructed from approximately 5,000 feet west of Handley-Ederville Rd to the southern I-820/SH 121 interchange. These improvements would also include the addition of connections providing direct access between SH 121 with I-820 and SH 121 with Trinity Boulevard (Blvd). All cross drainage structures, including the bridge over the West Fork of the Trinity River would be replaced or upgraded to match the wider roadway. Approximately 23 acres of proposed new right of way (ROW) would be required.

Definition of the Undertaking's Area of Potential Effects (APE)

The APE is defined as the existing 350 to 375 foot wide existing IH 820 ROW beginning 3,200 feet south of Randol Mill Road and extending 4.11 miles north to 2,000 feet north of Pipeline Road/Glenview Drive. The APE also includes the 500 to 550 foot wide SH 121 ROW beginning at 5,000 feet west of Handley-Ederville Road and extending 1.5 miles west to IH 820. In addition, the APE includes approximately 23 acres of proposed new ROW that is depicted on Figure 5: Project Plans. According to typical highway design, the depth of impacts will be up to 50 below the current ground surface for the bridge and overpass supports and up to 20 feet for the remainder of the project. The APE is comprised of approximately 177 acres.

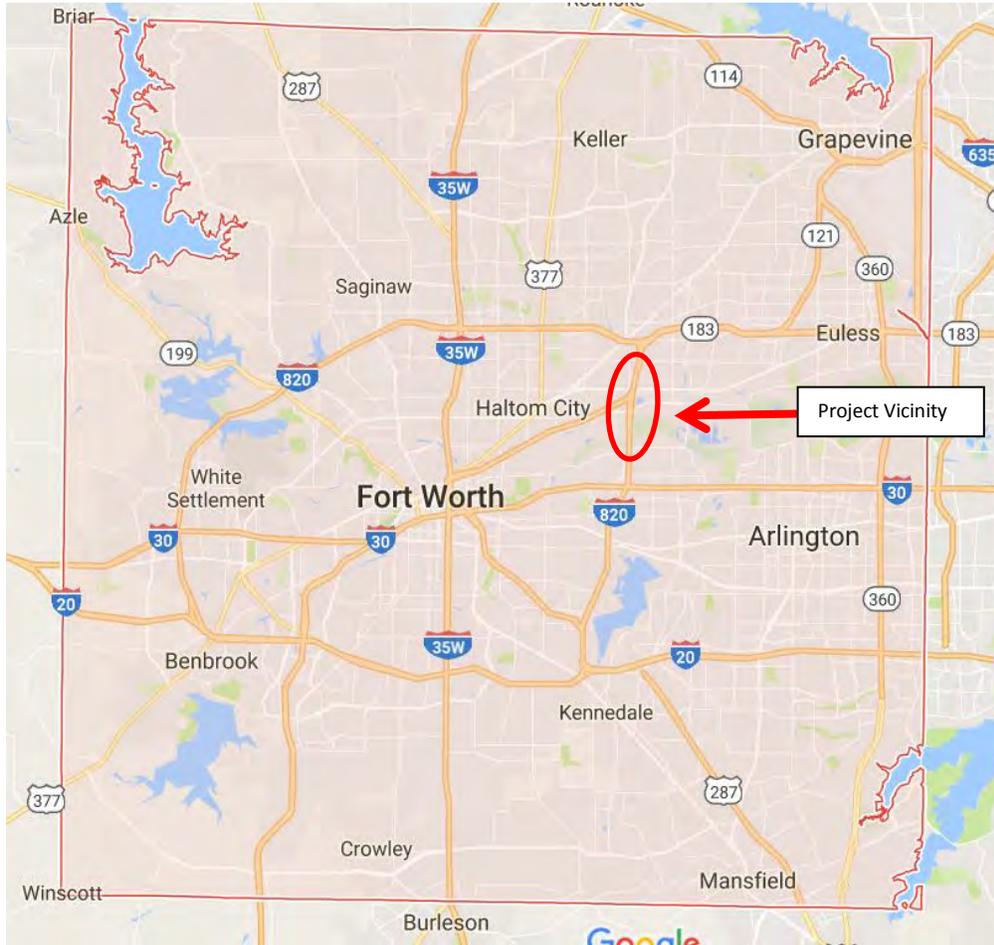
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Ederville Rd CSJ: 0008-13-124
Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 1: Project Vicinity within the State of Texas



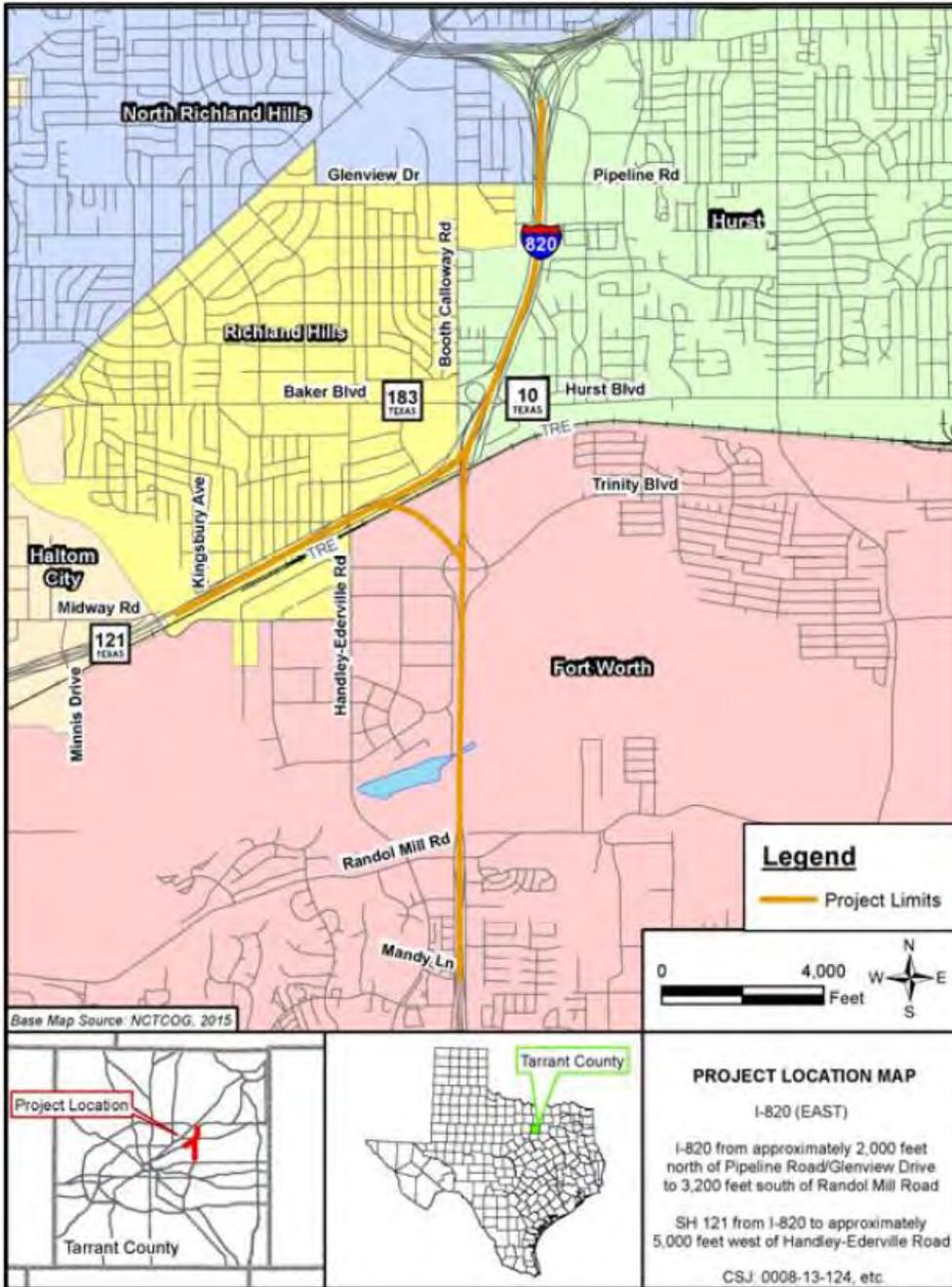
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July 26, 2017

Figure 2: Project Location in Hartley County



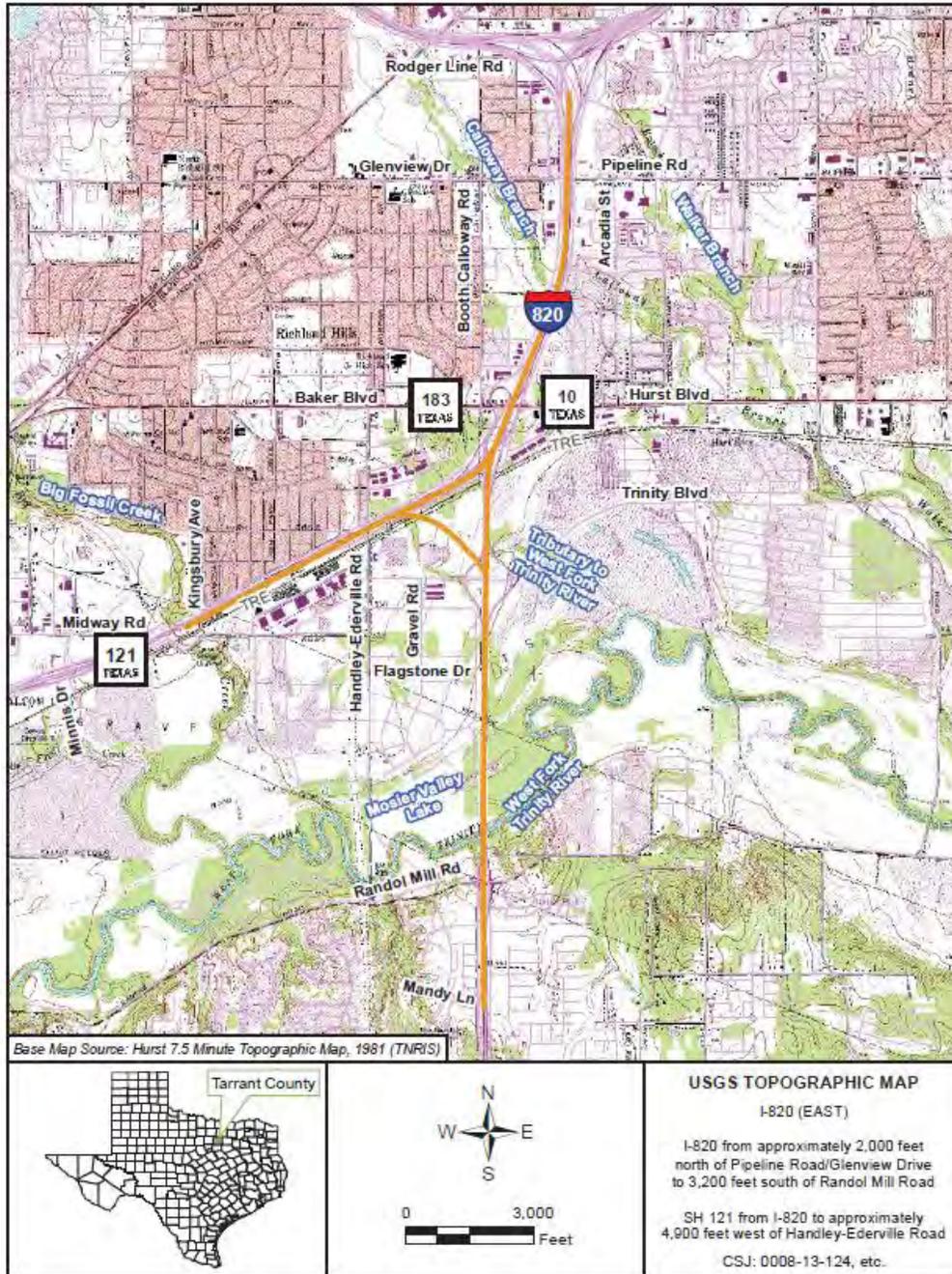
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 Jon Budd – TxDOT staff archeologist
 July 26, 2017

Figure 3: Project Location in Relation to the Communities near Fort Worth in Tarrant County



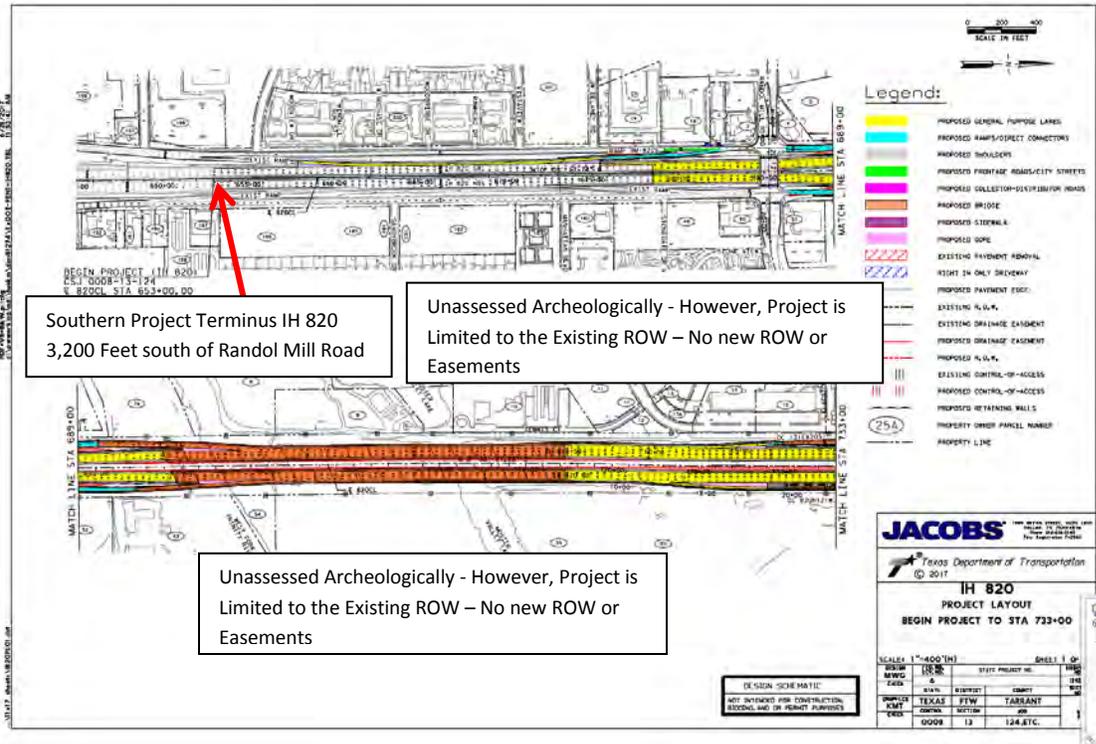
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 Jon Budd – TxDOT staff archeologist
 July 26, 2017

Figure 4: Project Location: Hurst (3502-423) USGS Topographic Quadrangle

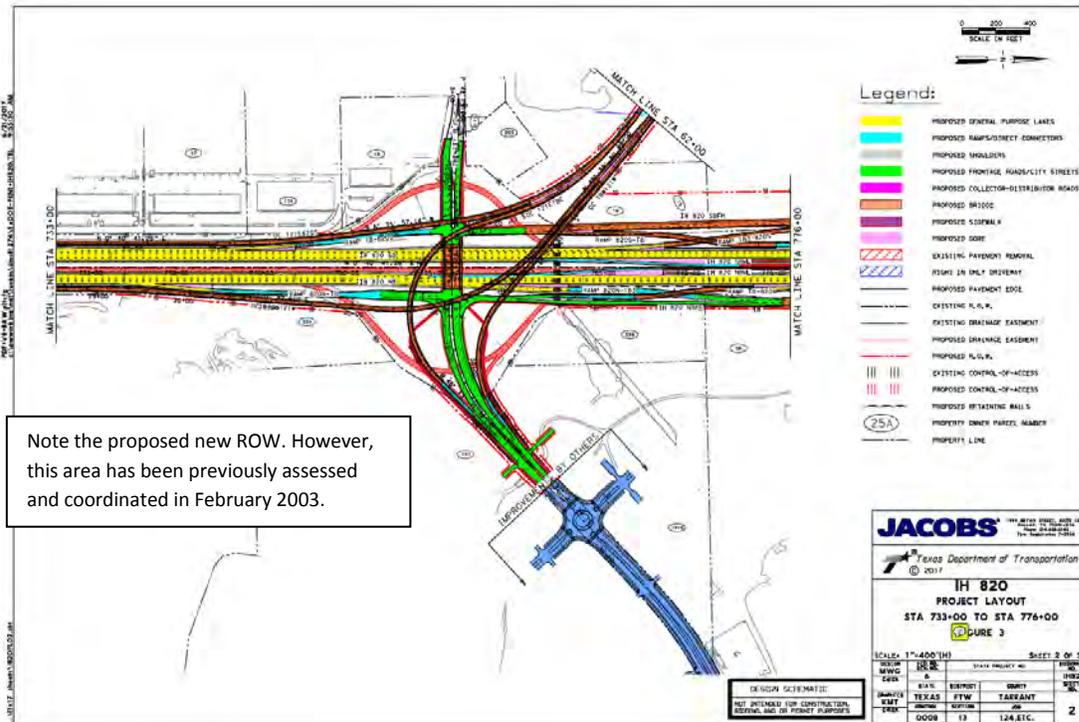


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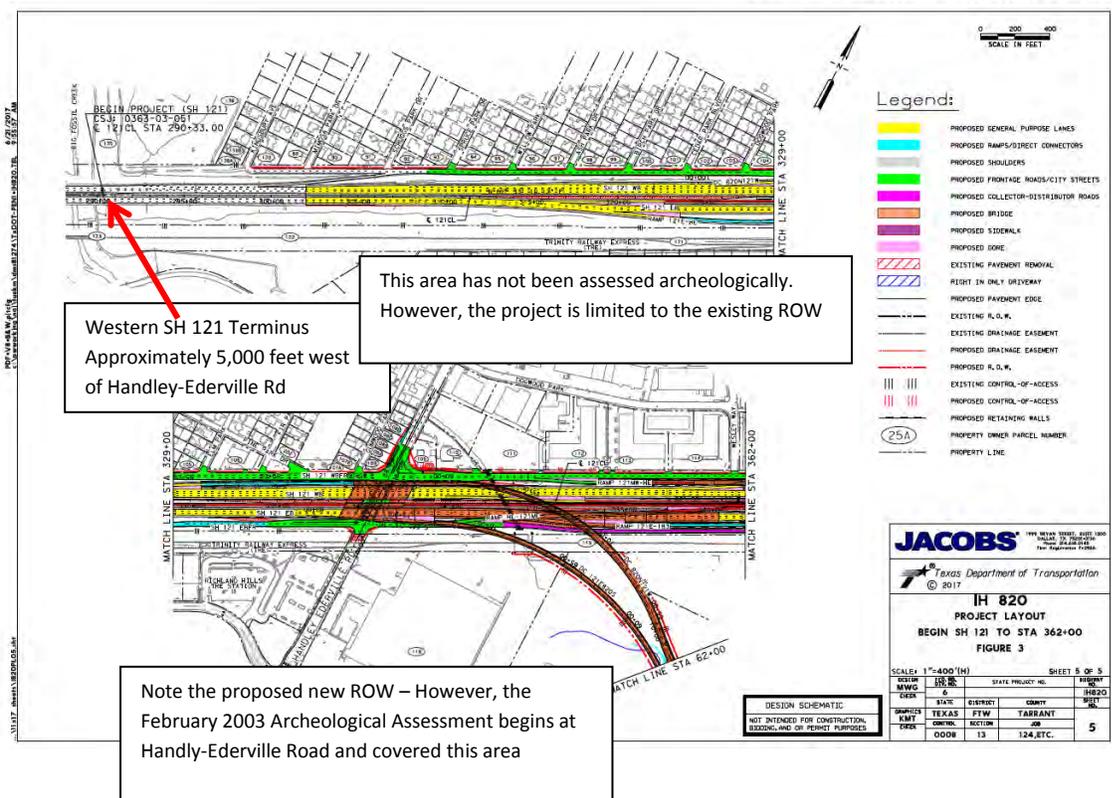
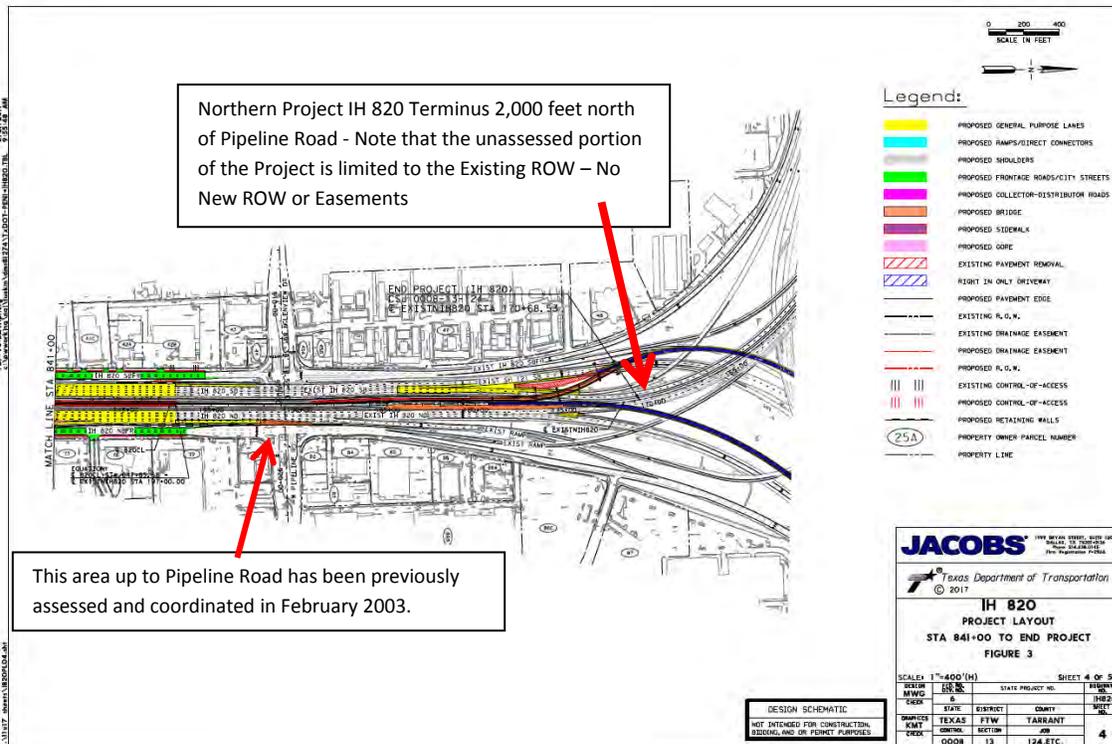
Figure 5: Project Plans



TxDOT Archeological Background Study Supporting Documentation
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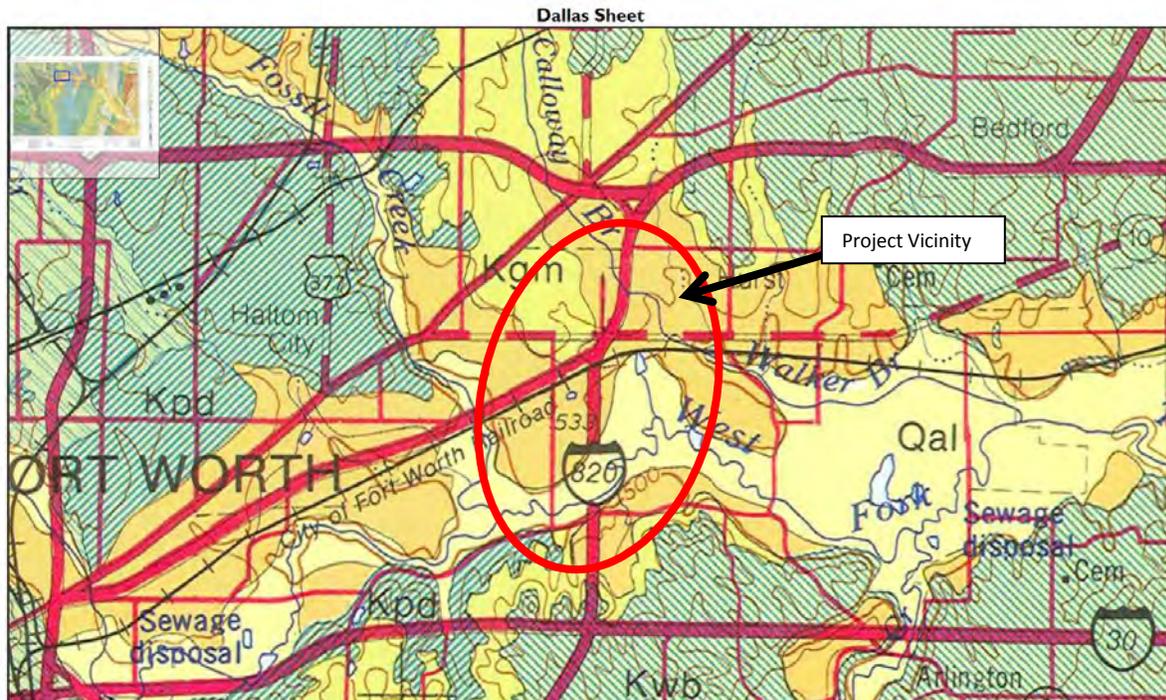


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Figure 6: The Project Vicinity in Relation to the Dallas Sheet of the Geologic Atlas of Texas



Kgm: Cretaceous aged geologic formations

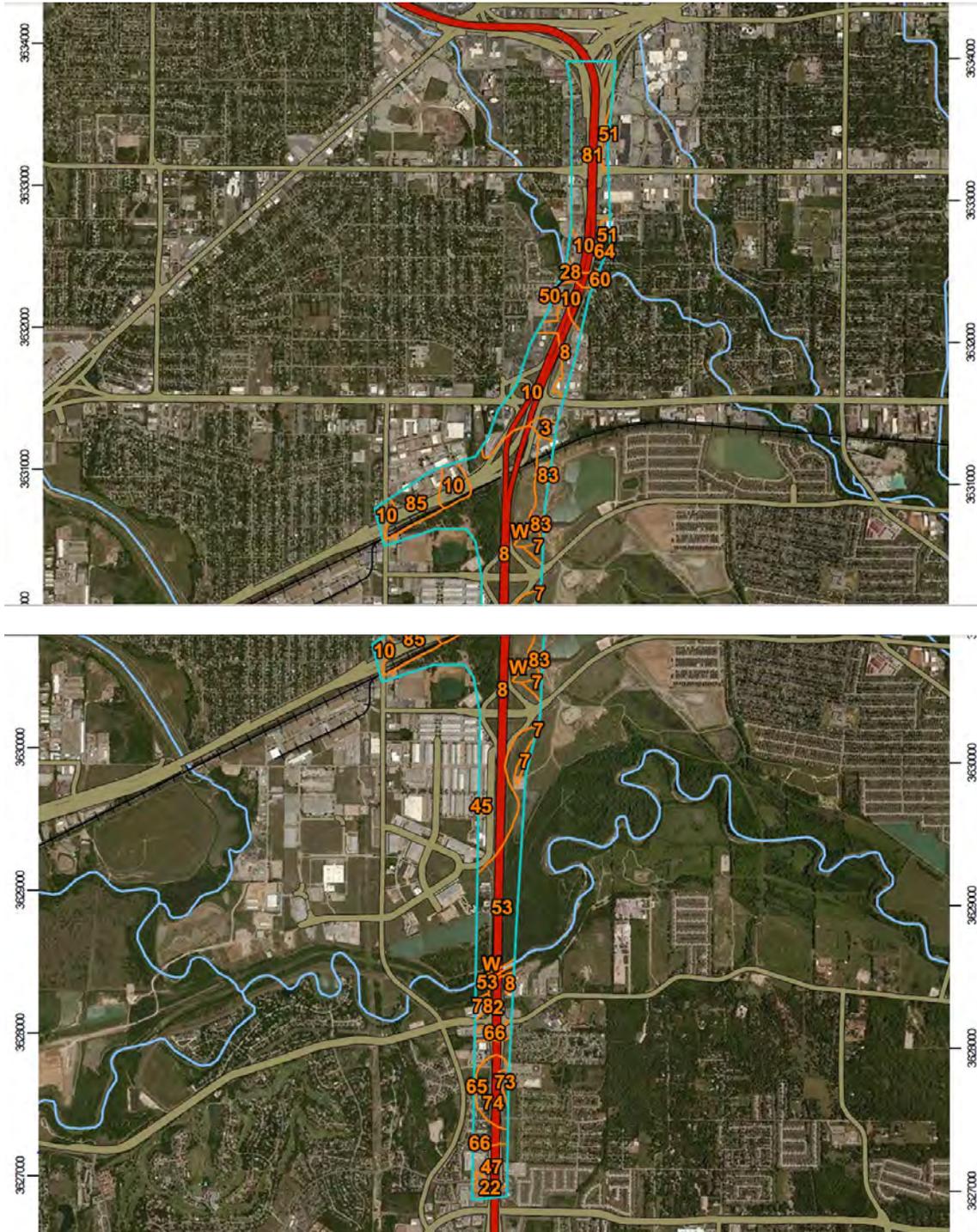
Qt: Pliocene aged ancient Fluvial Terrace Deposits

Kgm and Qt both formed prior to the arrival of Humans 12,000 years ago. Both possess very limited potential for the presence of intact archeological deposits.

Qal: Recent Holocene aged sediments that have historically demonstrated potential for the presence of buried intact archeological deposits. The QAL IS located within the APE near the West Fork of the Trinity River.

TxDOT Archeological Background Study Supporting Documentation
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Ederville Rd CSJ: 0008-13-124
Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 7: Project Location in Relation to the Soil Survey of Tarrant County



TxDOT Archeological Background Study Supporting Documentation
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 and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-
 Ederville Rd CSJ: 0008-13-124
 Jon Budd – TxDOT staff archeologist
 July 26, 2017

Map Unit Legend

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Bolar-Aledo complex, 3 to 20 percent slopes	14.3	2.3%
3	Aledo-Bolar-Urban land complex, 3 to 20 percent slopes	5.1	0.8%
7	Arents, frequently flooded	7.0	1.1%
8	Arents, loamy	204.0	32.3%
9	Bastil fine sandy loam, 0 to 3 percent slopes	12.4	2.0%
10	Bastil-Urban land complex, 0 to 5 percent slopes	101.7	16.1%
22	Crosetell fine sandy loam, 3 to 8 percent slopes	6.0	0.9%
28	Frio-Urban land complex, occasionally flooded	2.3	0.4%
45	Mabank fine sandy loam, 0 to 1 percent slopes	0.6	0.1%
47	Medlin clay, 5 to 15 percent slopes	16.0	2.5%
50	Navo clay loam, 1 to 3 percent slopes	0.7	0.1%
51	Navo-Urban land complex, 1 to 3 percent slopes	7.5	1.2%
53	Ovan clay, occasionally flooded	80.1	12.7%
60	Pulexas-Urban land complex, occasionally flooded	3.5	0.6%
64	Rader-Urban land complex, 0 to 3 percent slopes	0.3	0.1%
65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%

65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%
68	Sanger clay, 3 to 5 percent slopes	7.8	1.2%
73	Slidell clay, 0 to 1 percent slopes	2.7	0.4%
74	Slidell clay, 1 to 3 percent slopes	21.5	3.4%
79	Sunev clay loam, 3 to 8 percent slopes	2.9	0.5%
81	Urban land	81.2	12.9%
83	Whitesboro loam, frequently flooded	2.6	0.4%

Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey 7. Pa

Map—Tarrant County, Texas

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
95	Wilson-Urban land complex, 0 to 2 percent slopes	26.8	4.2%
W	Water	5.4	0.8%
Totals for Area of Interest		631.3	100.0%

Sediment types with little to no potential for the presence of intact archeological deposits.

Urban Land: 81 and 85

Upland sediments with bedrock within 0 to 60 inches: 2, 3, and 22

TxDOT Archeological Background Study Supporting Documentation

FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-Ederville Rd CSJ: 0008-13-124

Jon Budd – TxDOT staff archeologist

July 26, 2017

Upland sediments with sediments deeper than 80 inches: 47, 50, 51, 65, 66, 73, and 74

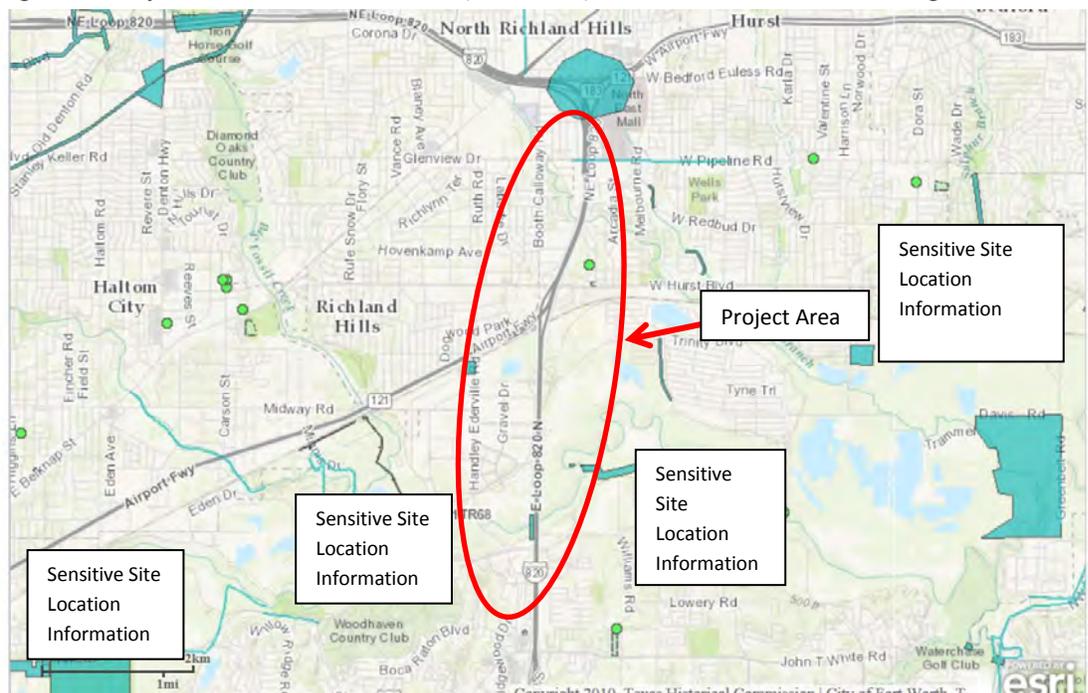
Sediment types with moderate potential for the presence of intact archeological deposits

Pleistocene aged stream terraces: 7, 8, 9, 10, 45, 64, and 78.

Sediment types possessing high potential for the presence of intact archeological deposits

Floodplains: 28, 53, 60, and 83

Figure 8: Project Location on the Hurst (3502-423) Quad of the Texas Archeological Sites Atlas



There have been no archeological sites previously recorded in or adjacent to the APE. 41TR68 is located nearly 1 kilometer away from the APE and will not be impacted.

Section 106 and Antiquities Code of Texas (ACT) for a large part of the APE has been previously conducted in February 2003 by TxDOT under CSJ: 0008-13-123. A copy of the map depicting the extent of the 2003 archeological assessment conducted under an Archeological Impact Evaluation is attached immediately below. Please note that this assessment is not documented on the Texas Archeological Sites Atlas. A copy of the related Archeological Impact Evaluation Report and related Section 106/ACT consultation is available for downloading from the TxDOT Environmental Tracking System Project File (ECOS) under the current CSJ: 0008-13-124 or available upon request from the TxDOT Archeological Studies Program. However, the Conclusions and Recommendations Section is provided below.

TxDOT Archeological Background Study Supporting Documentation
FTW: Tarrant: IH 820 from 2,000 Feet North of Pipeline Road to 3,200 Feet south of Randol Mill Road
and SH 121 from the Southern I-820/SH 121 Interchange to Approximately 5,000 Feet West of Handley-
Ederville Rd CSJ: 0008-13-124
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July 26, 2017

Conclusions and Recommendations Section of the 2003 TxDOT Impact Evaluation for the IH 820 Project
CSJ: 0008-13-123

Results of Assessment

No settings with reasonable potential to contain archeological historic properties or SALs were observed.

Recommendations

TxDOT seeks concurrence that no settings with reasonable potential to contain archeological historic properties (36 CFR 800.16.(1)) or SALs (13 TAC §26.12) were noted during this evaluation. In accordance with the PA and MOU, no further work is recommended and no further consultation is required.

Comments and Justification

The project is depicted on the attached section of USGS Hurst [3297-442] 7.5' topographic quad. Photos of the area are also attached, though traffic considerations prevented photography of all areas.

Beginning at the north end of the project, areas adjacent to both sides of the existing disturbed highway right of way between Pipeline Road/Glenview Drive and Calloway Branch have been extensively developed, with utilities, car parks, and buildings (Photos 493 and 495).

Calloway Branch has been extensively disturbed on the north bank, there is a buried sewer line along the creek, and the south bank is concrete-lined, with developed areas to the south (Photos 496, 498, 499).

From Calloway Branch to Baker Boulevard West/West Hurst Boulevard both sides of the existing disturbed right of way have been developed (Photos 501, 503).

IH-820 crosses SH 121 and the Chicago, Rock Island, and Pacific RR (Trinity Railway Express) on a bridge section (Photo 504). Most of the area of proposed new right of way west of the highway, between the railroad and Trinity Boulevard is within a reclaimed mining area. Similarly, all of the proposed right of way east of the highway has been extensively mined, with a cut drainage channel and a large pond being present.

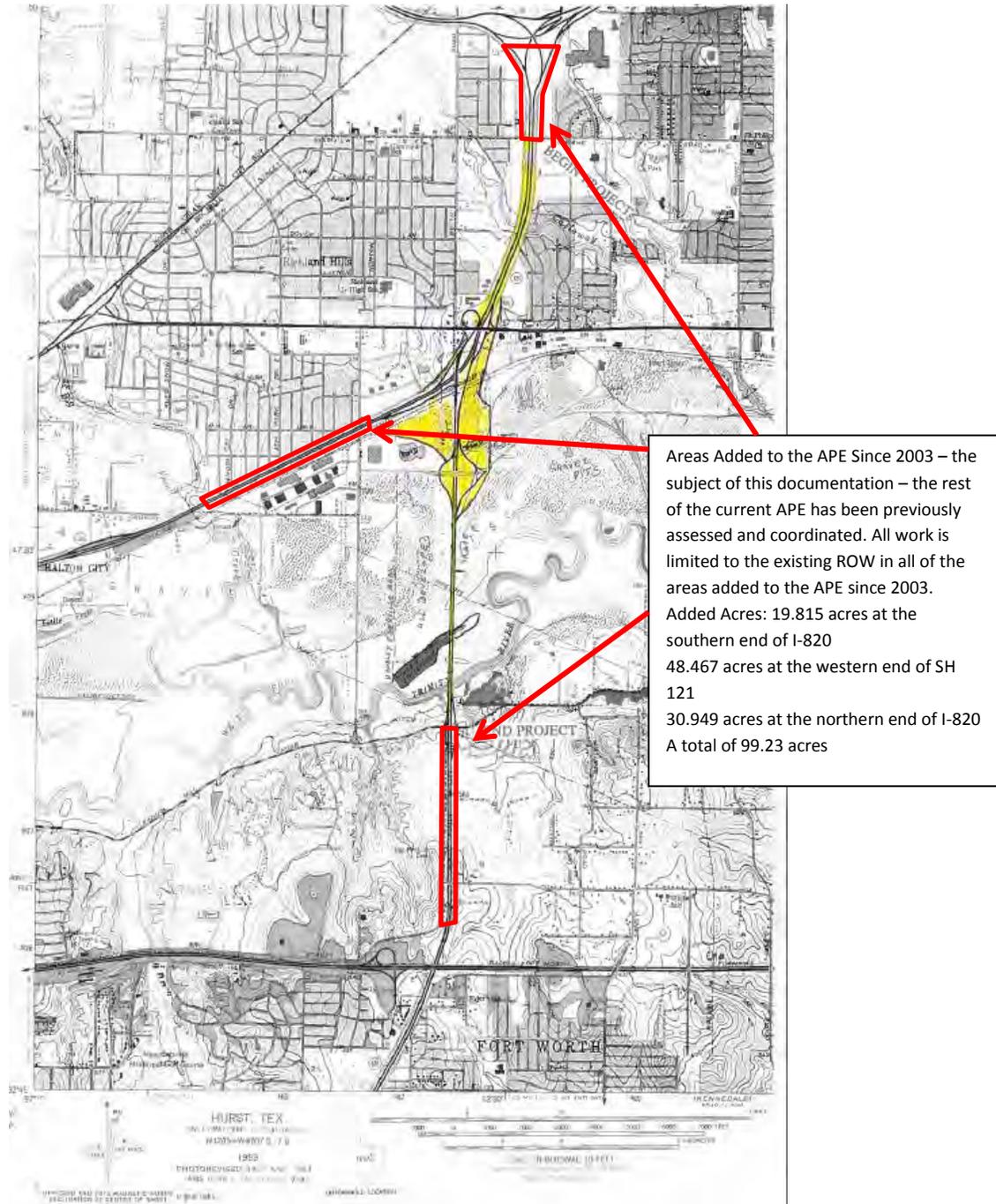
South of Trinity Boulevard to the Trinity River channel, the area west of the highway has been extensively developed since 1973, and the small slough depicted on the quad north of the Trinity River channel has been considerably expanded to become Moiser Valley Lake. Reclaimed mining land is adjacent to the existing right of way east of the highway, for about the northern half of the segment. The southern half of the segment is within a conservation easement, but no new right of way will be acquired from the easement.

The banks and channel of the Trinity River channel exhibited considerable erosion around the existing bridge columns from the channel, and there were numerous deep eroding gullies in the banks. The numerous cuts and exposures did not reveal any cultural material (Photos 510, 511, 512, 514).

Since the 2003 assessment and consultation, the project design has changed to incorporate an additional 99.23 acres of existing IH 820 and SH 121 ROW located in three non-continuous areas. These areas are delineated on Figures 9 and 12 below. In addition, the original need for 59 acres of proposed new ROW has been omitted. A new total of 23 acres of proposed new ROW is currently needed.

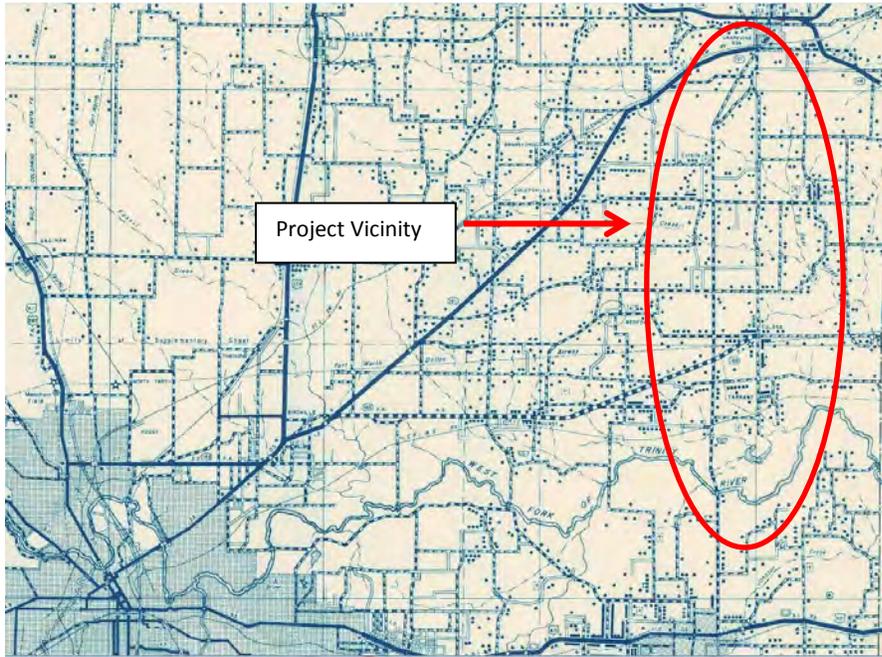
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Jon Budd – TxDOT staff archeologist
July 26, 2017

Figure 9: Spatial Extent of the February 2003 TxDOT Archeological Impact Evaluation: Hurst (3502-423)
USGS Topographic Quadrangle



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Figure 10: 1936 Texas State Highway Department of Tarrant County



IH 820 does not appear on this 1936 Map. There does appear to have been residences and or commercial structures in or near the current APE. However, the areas where new ROW are proposed has been previously assesses archeologically and coordinated under Section 106/ACT. The remaining areas that have not been assessed or coordinated are limited to the existing ROW that has been disturbed due to bulldozing associated with the original IH 820 and SH 121 roadway construction.

TxDOT Archeological Background Study Supporting Documentation

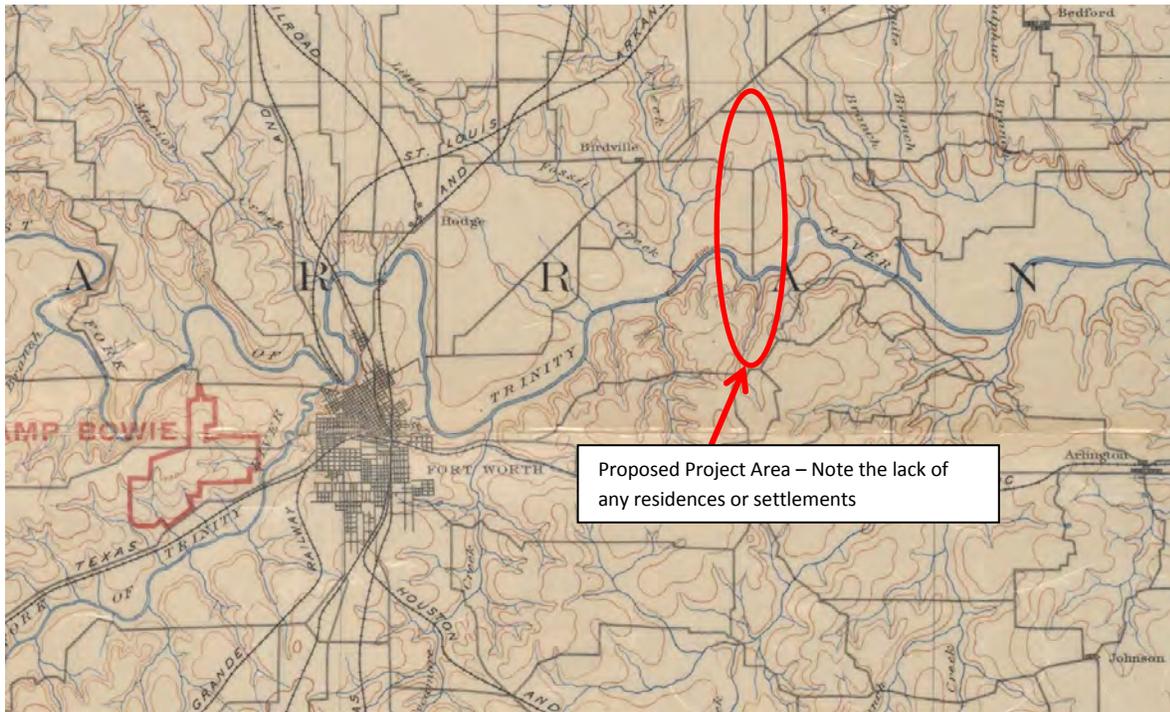
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Figure 11: 1889 Fort Worth, Texas 15' USGS Topographic Map

http://www.lib.utexas.edu/maps/topo/texas/txu-pclmaps-topo-tx-fort_worth-1889.jpg



Note the lack of residences or settlements in the proposed project area on the 1889 Map.

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Figure 12: August 2, 2017 Google Earth Aerial of the Areas Added to the APE Since the 2003 Consultation



These areas are limited to the existing ROW that has been previously disturbed due to bulldozing associated the original IH 820 and SH 121 roadway construction

Conclusion/Recommendations:

A large part of the APE was previously assessed archeologically by TxDOT in 2003 via an Archeological Impact Evaluation. This includes the areas delineated on the map listed as Figure 9 above. That Impact Evaluation and related Section 106/ACT consultation was under CSJ: 0008-13-123. That assessment and related consultation included the bridge replacement on IH 820 at the West Fork of the Trinity River.

A total of three areas totally 99.23 acres have been added to the project design since the 2003 consultation. These areas are also delineated on Figure 9 and Figure 12 above. There are no previously recorded archeological sites or known cemeteries located in or near these three areas. All of three of these areas are limited to the existing IH 820 and SH 121 ROW that has been extensively disturbed due to bulldozing associated with the original construction of the IH 820 and SH 121 roadways. Regardless of geology and soil types, any archeological features and artifacts would have been broken, mixed, and pushed out of any original deposition context making it very difficult if not impossible for these materials to yield new, significant, information important to prehistory. TxDOT therefore recommends that no survey is recommended in these three areas.

TxDOT recommends that the inventory of the entire APE is complete, for a finding of no archeological historic properties affected, and no further archeological work or consultation is required.

TxDOT Archeological Background Study Supporting Documentation

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July 26, 2017

Project Description

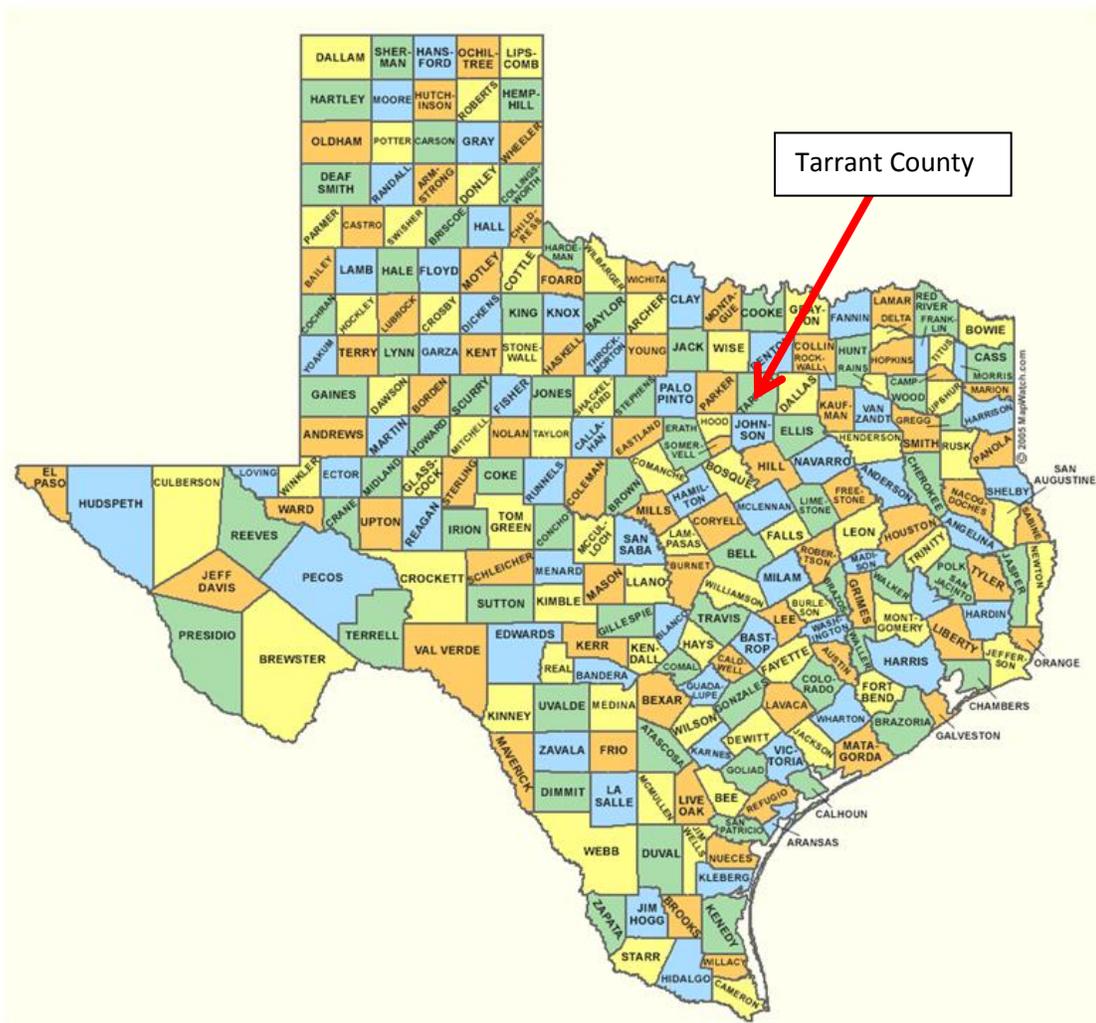
The Texas Department of Transportation (TxDOT) is proposing to reconstruct Interstate Highway 820 (I-820) and State Highway (SH) 121 interchange in northern Tarrant County. The proposed project would reconstruct I-820 from approximately 3,200 feet south of Randol Mill Rd to 2,000 feet north of Pipeline Road (Rd)/Glenview Drive (Dr). Additionally, SH 121 would be reconstructed from approximately 5,000 feet west of Handley-Ederville Rd to the southern I-820/SH 121 interchange. These improvements would also include the addition of connections providing direct access between SH 121 with I-820 and SH 121 with Trinity Boulevard (Blvd). All cross drainage structures, including the bridge over the West Fork of the Trinity River would be replaced or upgraded to match the wider roadway. Approximately 23 acres of proposed new right of way (ROW) would be required.

Definition of the Undertaking's Area of Potential Effects (APE)

The APE is defined as the existing 350 to 375 foot wide existing IH 820 ROW beginning 3,200 feet south of Randol Mill Road and extending 4.11 miles north to 2,000 feet north of Pipeline Road/Glenview Drive. The APE also includes the 500 to 550 foot wide SH 121 ROW beginning at 5,000 feet west of Handley-Ederville Road and extending 1.5 miles west to IH 820. In addition, the APE includes approximately 23 acres of proposed new ROW that is depicted on Figure 5: Project Plans. According to typical highway design, the depth of impacts will be up to 50 below the current ground surface for the bridge and overpass supports and up to 20 feet for the remainder of the project. The APE is comprised of approximately 177 acres.

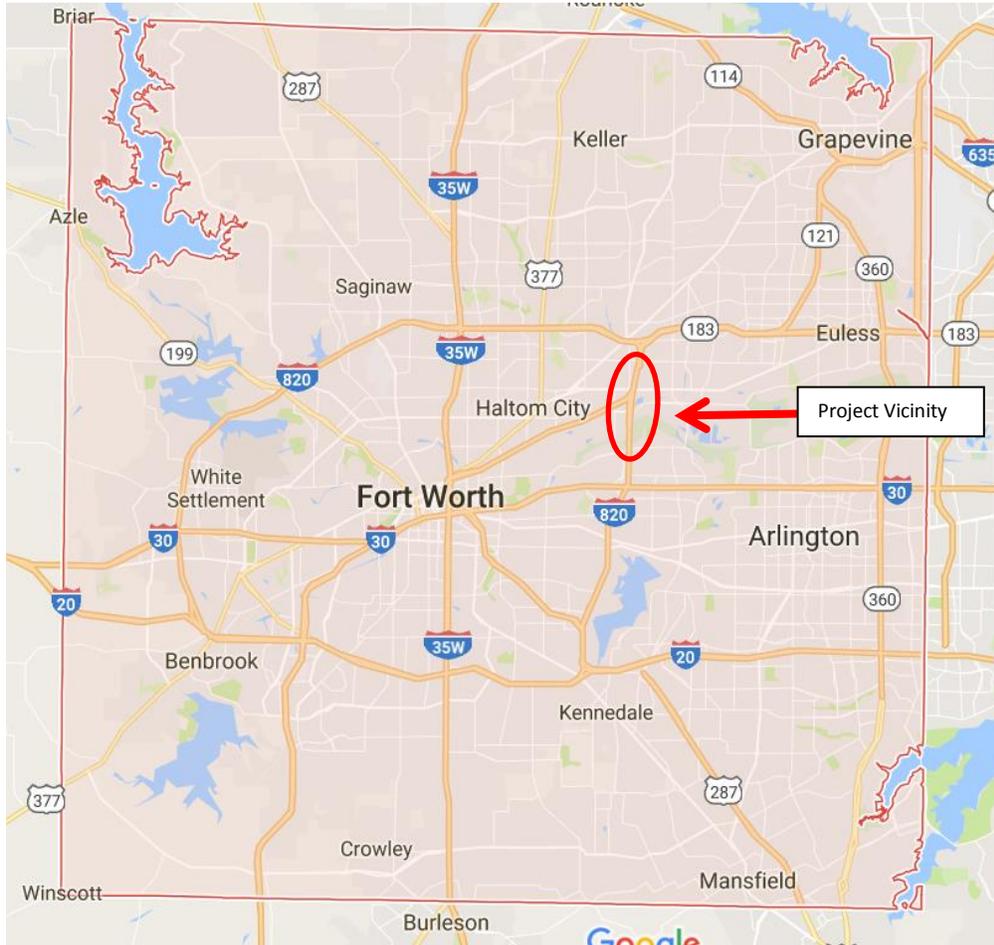
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July 26, 2017

Figure 1: Project Vicinity within the State of Texas



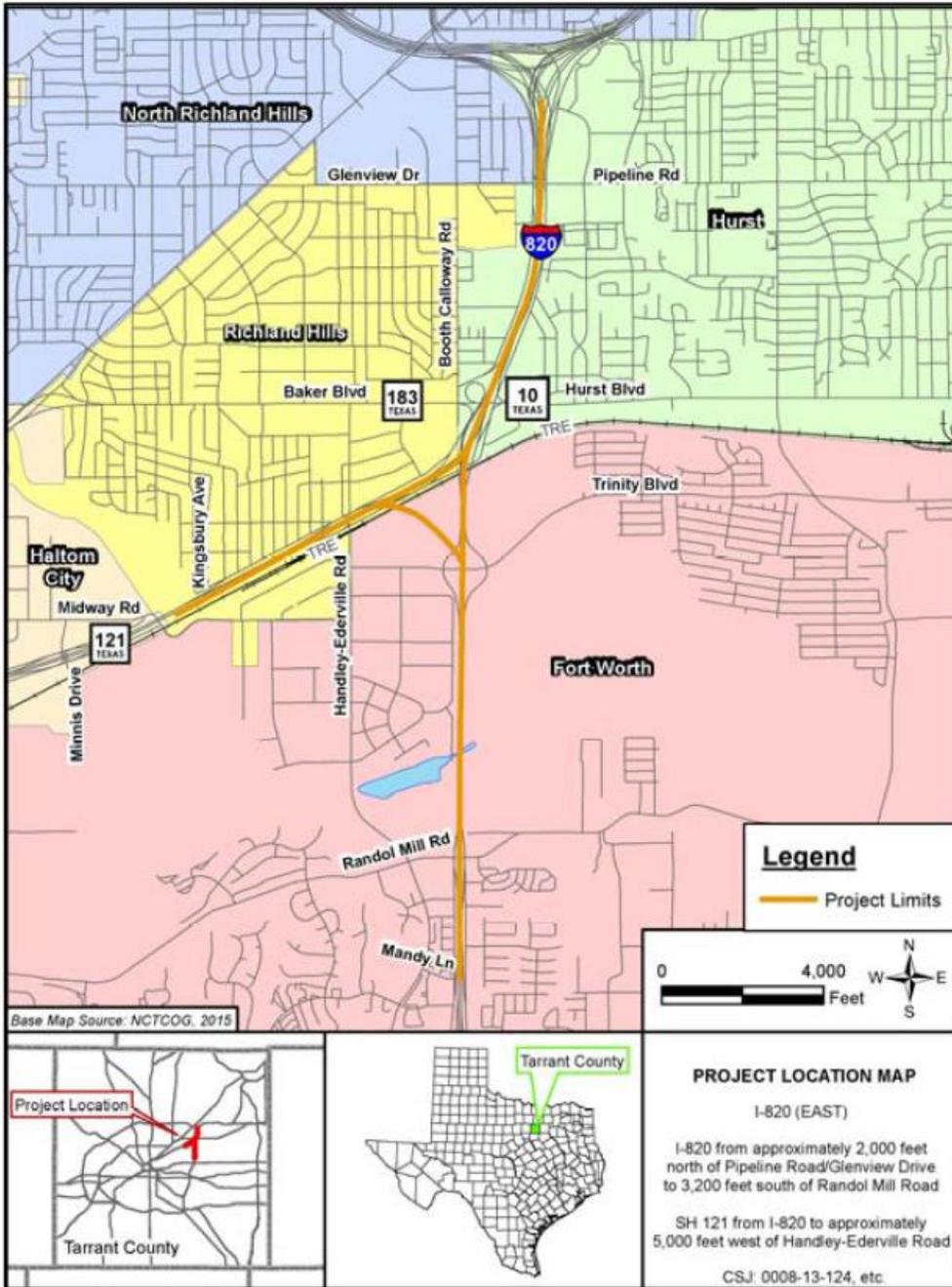
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Figure 2: Project Location in Hartley County



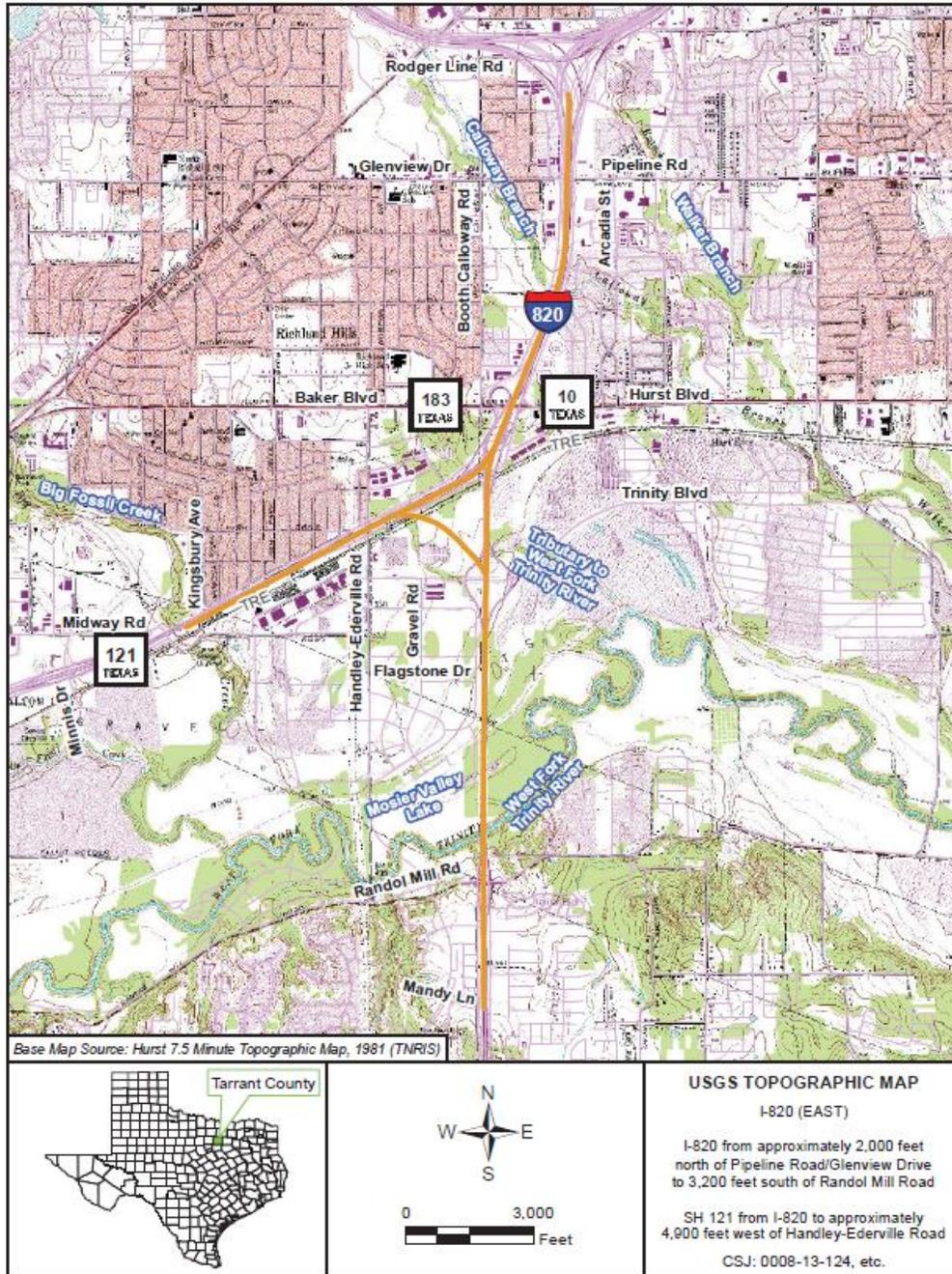
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Figure 3: Project Location in Relation to the Communities near Fort Worth in Tarrant County



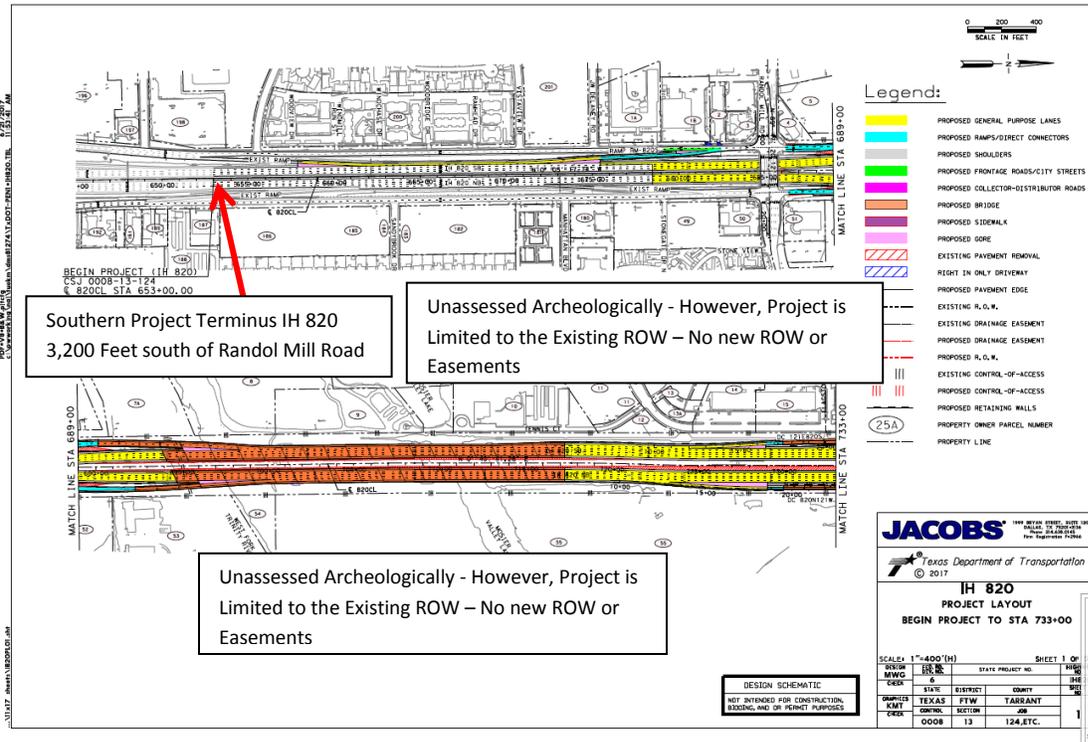
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Figure 4: Project Location: Hurst (3502-423) USGS Topographic Quadrangle

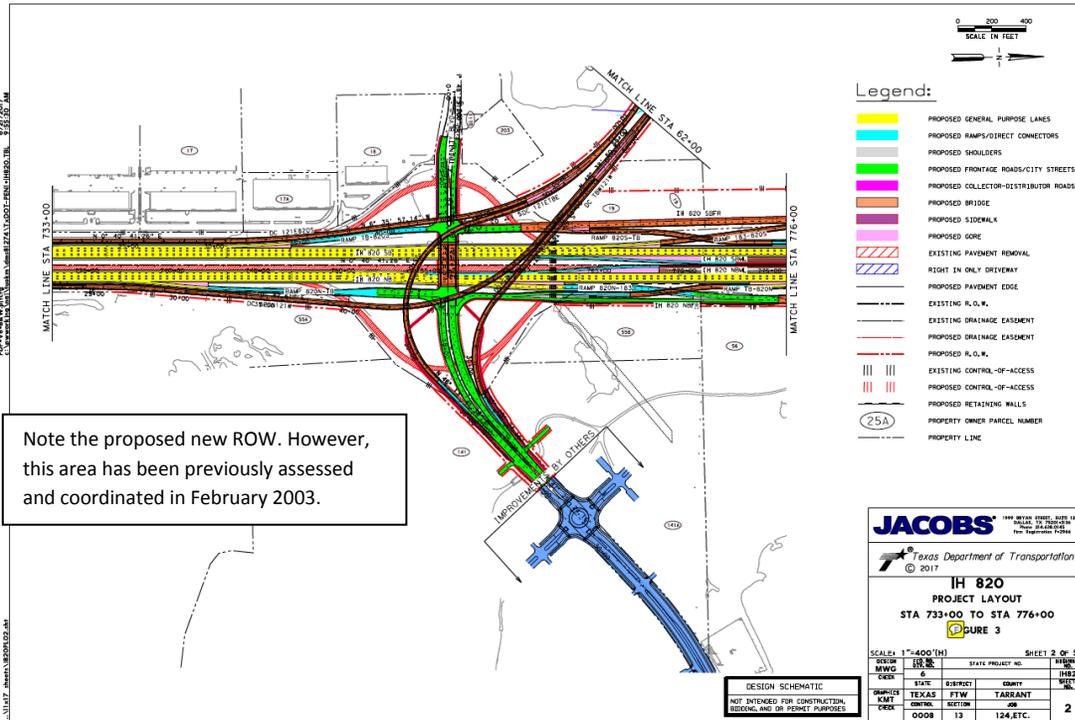


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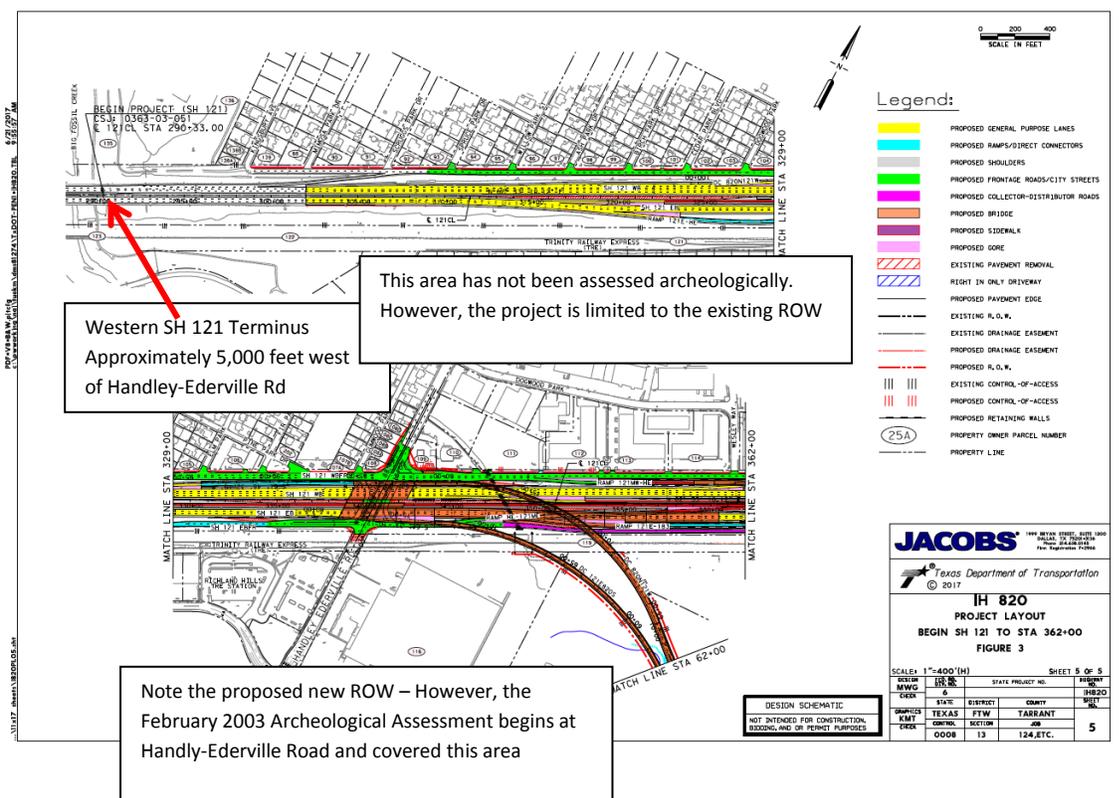
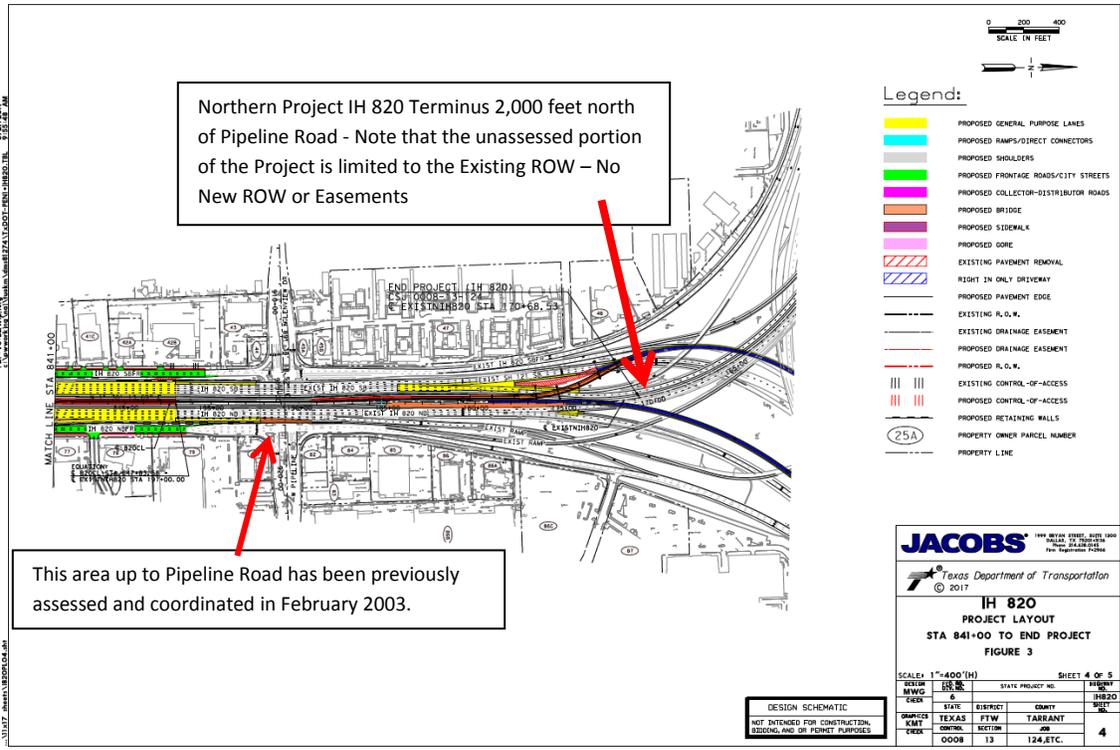
Figure 5: Project Plans



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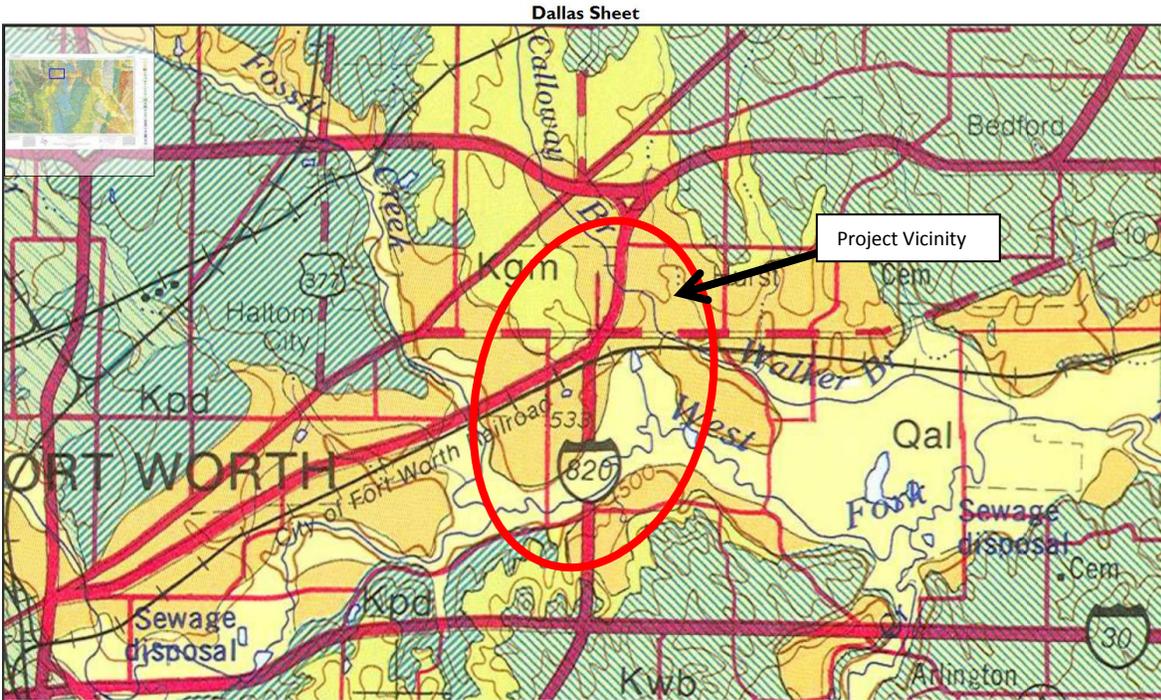


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Figure 6: The Project Vicinity in Relation to the Dallas Sheet of the Geologic Atlas of Texas



Kgm: Cretaceous aged geologic formations

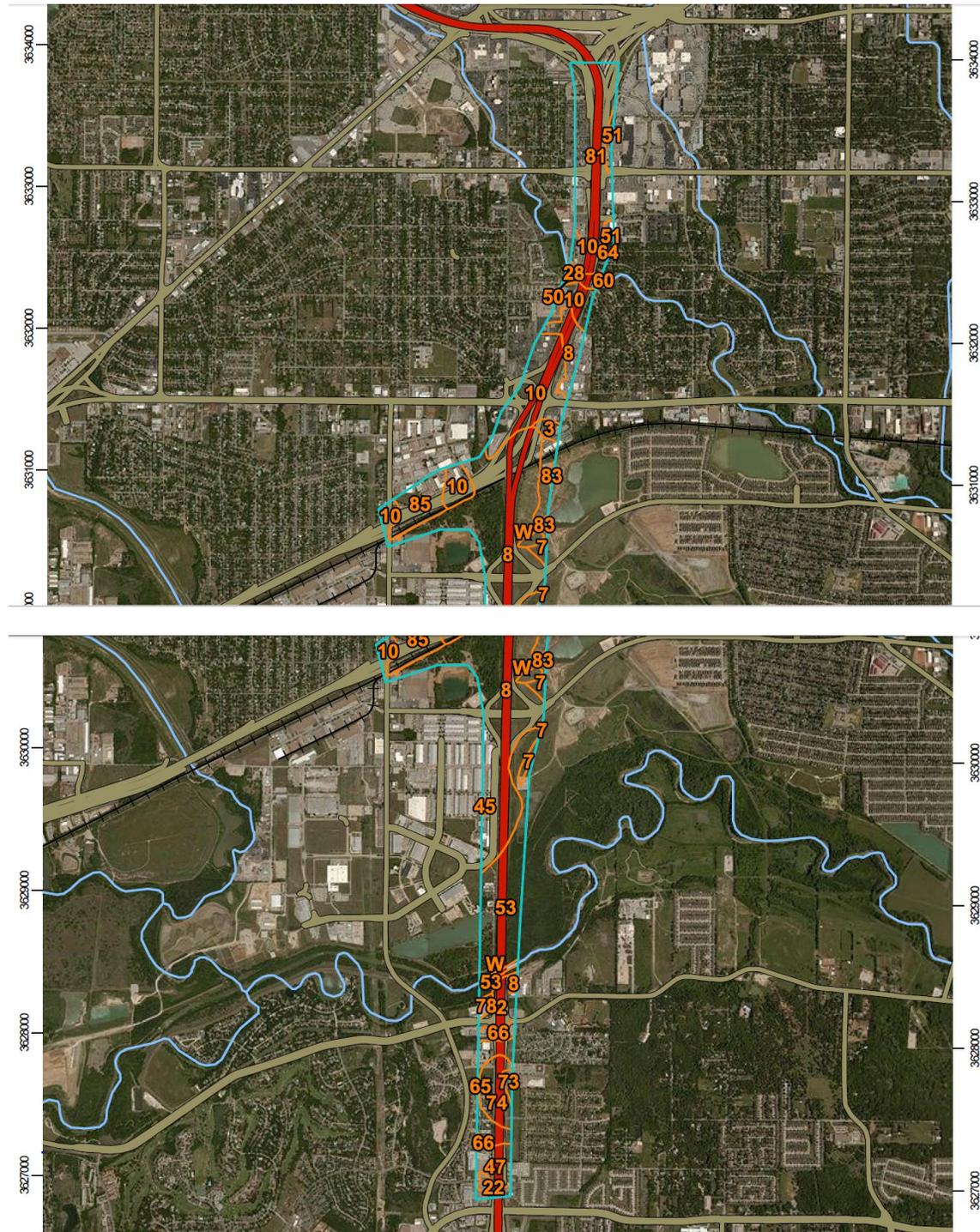
Qt: Pliocene aged ancient Fluvial Terrace Deposits

Kgm and Qt both formed prior to the arrival of Humans 12,000 years ago. Both possess very limited potential for the presence of intact archeological deposits.

Qal: Recent Holocene aged sediments that have historically demonstrated potential for the presence of buried intact archeological deposits. The QAL IS located within the APE near the West Fork of the Trinity River.

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Figure 7: Project Location in Relation to the Soil Survey of Tarrant County



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Map Unit Legend

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Bolar-Aledo complex, 3 to 20 percent slopes	14.3	2.3%
3	Aledo-Bolar-Urban land complex, 3 to 20 percent slopes	5.1	0.8%
7	Arents, frequently flooded	7.0	1.1%
8	Arents, loamy	204.0	32.3%
9	Bastil fine sandy loam, 0 to 3 percent slopes	12.4	2.0%
10	Bastil-Urban land complex, 0 to 5 percent slopes	101.7	16.1%
22	Crosstell fine sandy loam, 3 to 8 percent slopes	6.0	0.9%
28	Frio-Urban land complex, occasionally flooded	2.3	0.4%
45	Mabank fine sandy loam, 0 to 1 percent slopes	0.6	0.1%
47	Medlin clay, 5 to 15 percent slopes	16.0	2.5%
50	Navo clay loam, 1 to 3 percent slopes	0.7	0.1%
51	Navo-Urban land complex, 1 to 3 percent slopes	7.5	1.2%
53	Ovan clay, occasionally flooded	80.1	12.7%
60	Pulexas-Urban land complex, occasionally flooded	3.5	0.6%
64	Rader-Urban land complex, 0 to 3 percent slopes	0.3	0.1%
65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%

65	Sanger clay, 1 to 3 percent slopes	19.1	3.0%
66	Sanger clay, 3 to 5 percent slopes	7.8	1.2%
73	Slidell clay, 0 to 1 percent slopes	2.7	0.4%
74	Slidell clay, 1 to 3 percent slopes	21.5	3.4%
78	Sunev clay loam, 3 to 8 percent slopes	2.9	0.5%
81	Urban land	81.2	12.9%
83	Whitesboro loam, frequently flooded	2.6	0.4%

Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey 7/ Page

Map—Tarrant County, Texas

Tarrant County, Texas (TX439)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
85	Wilson-Urban land complex, 0 to 2 percent slopes	26.8	4.2%
W	Water	5.4	0.8%
Totals for Area of Interest		631.3	100.0%

Sediment types with little to no potential for the presence of intact archeological deposits.

Urban Land: 81 and 85

Upland sediments with bedrock within 0 to 60 inches: 2, 3, and 22

TxDOT Archeological Background Study Supporting Documentation

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Upland sediments with sediments deeper than 80 inches: 47, 50, 51, 65, 66, 73, and 74

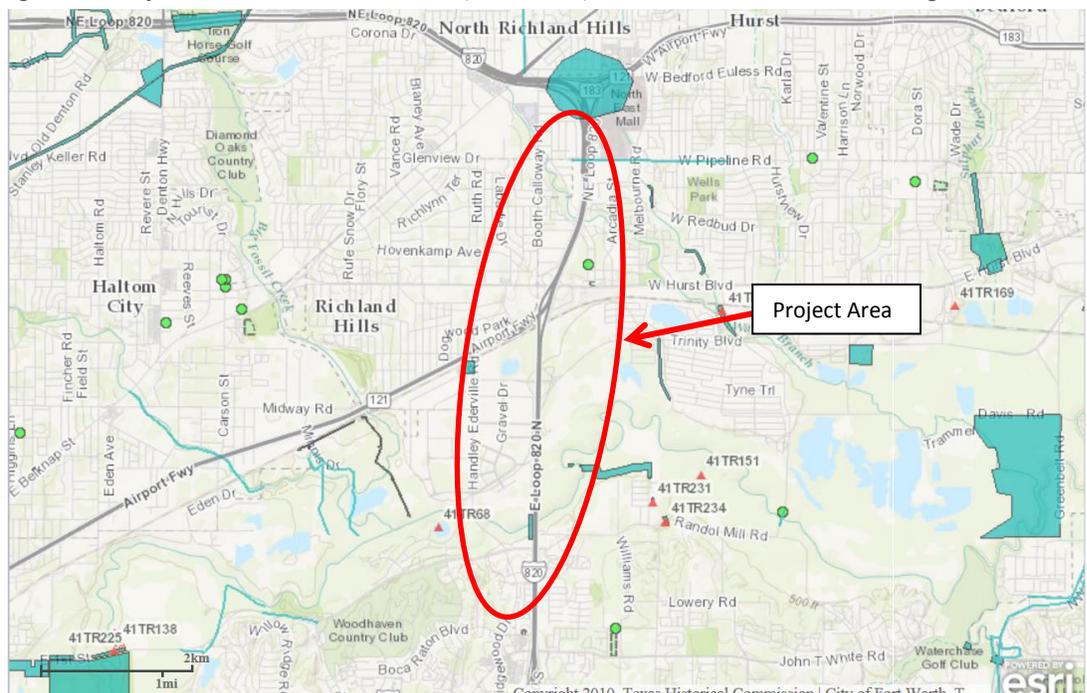
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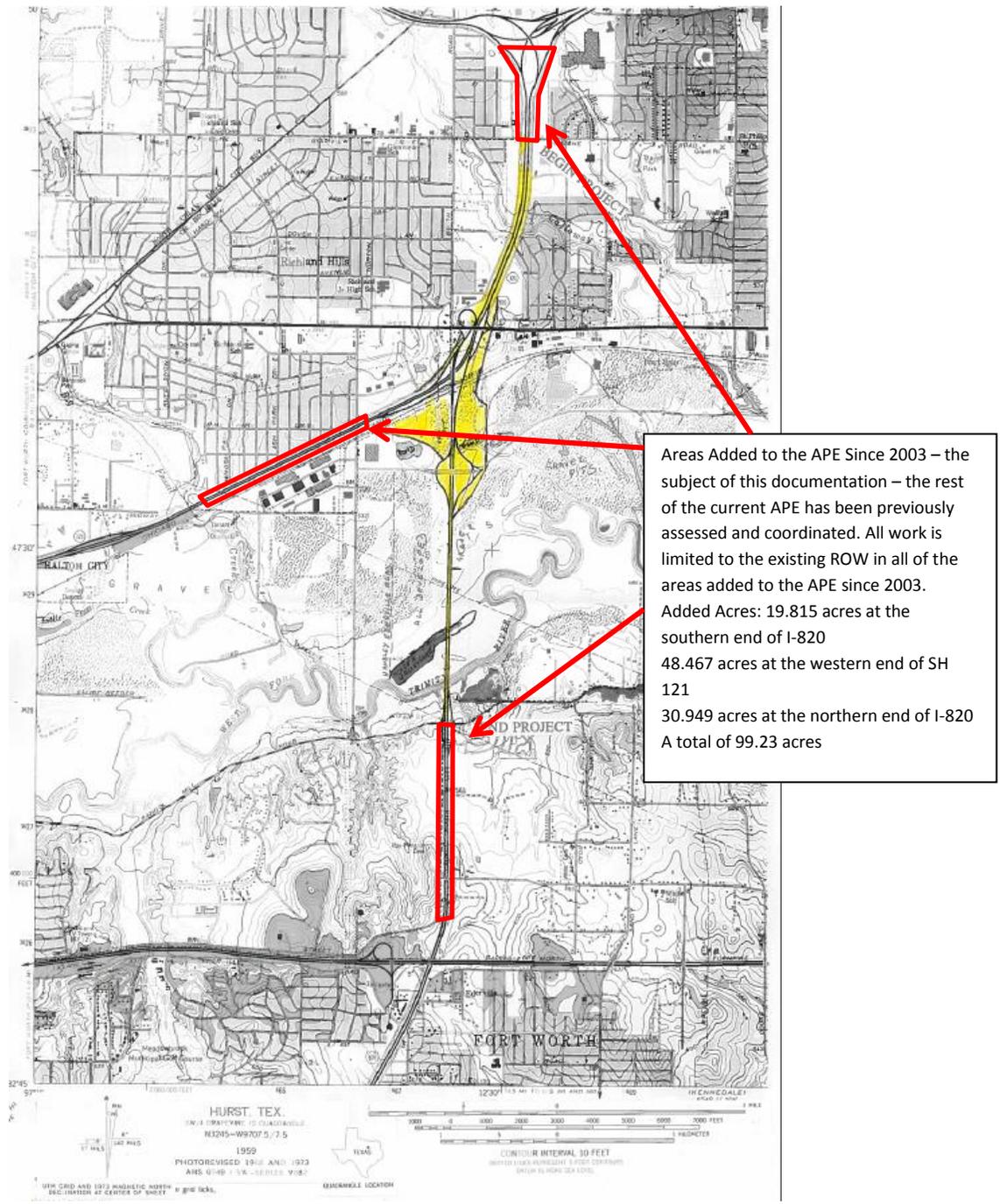
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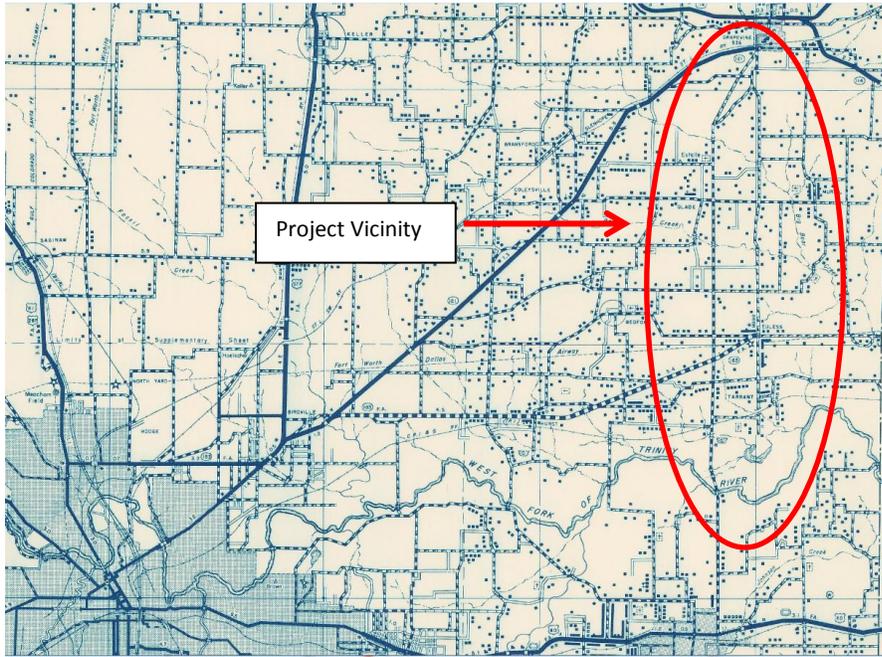
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 USGS Topographic Quadrangle



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Figure 10: 1936 Texas State Highway Department of Tarrant County



IH 820 does not appear on this 1936 Map. There does appear to have been residences and or commercial structures in or near the current APE. However, the areas where new ROW are proposed has been previously assesses archeologically and coordinated under Section 106/ACT. The remaining areas that have not been assessed or coordinated are limited to the existing ROW that has been disturbed due to bulldozing associated with the original IH 820 and SH 121 roadway construction.

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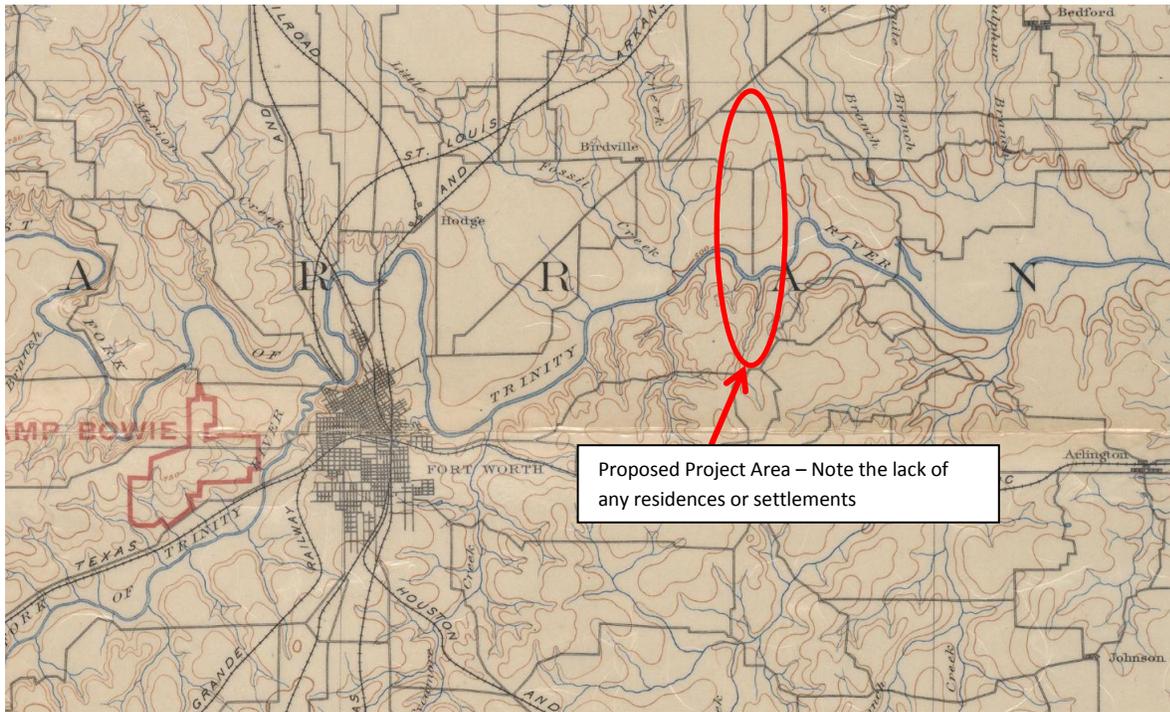
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Jon Budd – TxDOT staff archeologist

July 26, 2017

Figure 11: 1889 Fort Worth, Texas 15' USGS Topographic Map

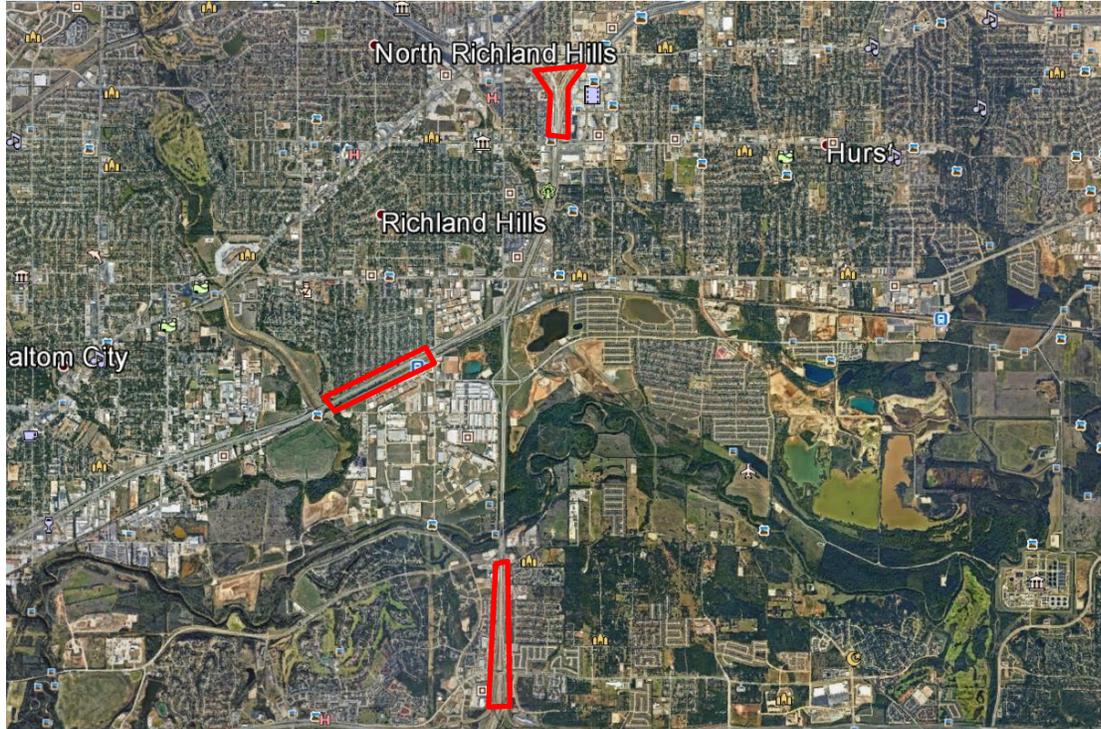
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Note the lack of residences or settlements in the proposed project area on the 1889 Map.

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Figure 12: August 2, 2017 Google Earth Aerial of the Areas Added to the APE Since the 2003 Consultation



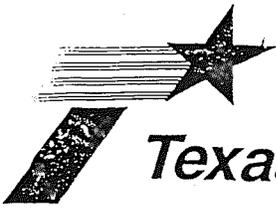
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Conclusion/Recommendations:

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TxDOT recommends that the inventory of the entire APE is complete, for a finding of no archeological historic properties affected, and no further archeological work or consultation is required.



Texas Department of Transportation

DEWITT C. GREER STATE HIGHWAY BLDG. • 125 E. 11TH STREET • AUSTIN, TEXAS 78701-2483 • (512) 463-8585

February 3, 2003

James E. Bruseth, Ph.D.
Department of Antiquities Protection
Texas Historical Commission
P.O. Box 12276
Austin, TX 78711

PROJECT
MANAGEMENT

Dear Dr. Bruseth:

In accordance with Section 106 of the National Historic Preservation Act and the Antiquities Code of Texas, we are forwarding for your information review sheets and accompanying maps and other information for the attached projects reviewed since **January 17, 2003**.

The attached information includes projects that, in our opinion, do not warrant archeological surveys, projects that do not have the potential to affect historic properties, and/or projects where impact evaluations or surveys have been conducted and no archeological sites were found. We respectfully request your concurrence with our recommendations that these projects do not warrant further investigation and will not affect historic properties. Should any cultural remains be identified during construction, construction shall cease in that portion of the project and an archeologist from my staff will conduct an on-site evaluation of the find and consult further with your office.

Thank you for your attention to this matter. If you have any questions, please contact me at 416-2631.

Sincerely,

Owen Lindauer, Ph.D., Supervisor
Archeological Studies
Environmental Affairs Division

Attachments

cc: Irene Rico, P.E. - FHWA

bcc: CRM/SBW ERG JKW JAP KRF MMS CD MMC CMB PT CRM

ETS

Inbox : 1/18/03

To: 2/3/03

CHEOLOGICAL COORDINATI I

Impact Evaluations, No Further Work Recommended

(Section 106 and ANTIQUITIES CODE OF TEXAS)

Date: 2/3/03

COUNTY	DISTRICT	PROJECT	CSJ	*F30/T20 Concur, no further work	*F10/T10 Unable to Concur
Borden	Abilene	FM 1054	0933-05-016	✓	
Karnes	Corpus Christi	FM 81	0691-01-028	✓	
Karnes	Corpus Christi	FM 887	1122-02-036	✓	
Parker	Fort Worth	Jenkins Road	0902-38-036	✓	
Shackelford	Abilene	CR 164	0908-28-011	✓	
Tarrant	Fort Worth	IH 820	0008-13-123	✓	

Number of Projects: 6

RECEIVED

FEB 04 2003

TEXAS HISTORICAL COMMISSION

TxDOT - ENV
 FEB - 6 2003
 CRM


 F. Lawrence Oaks
 State Historic Preservation Officer and Executive Director

2/5/03
 Date



U.S. Department
of Transportation
**Federal Highway
Administration**

Texas Division Office
300 E. 8th Street, Rm. 826
Austin, Texas 78701

January 30, 2003

In Reply Refer To:
HA-TX

RE: CSJ: 0008-13-123; IH 820 from Pipeline Road/Glenview Drive
South to Randol Mill Road, Tarrant County, Fort Worth District, Texas

Mr. Gary McAdams, President
Wichita and Affiliated Tribes
P.O. Box 729
Anadarko, Oklahoma 73005

Dear Mr. McAdams:

The above referenced transportation project is being considered for construction by the Federal Highway Administration (FHWA) and the Texas Department of Transportation (TxDOT), and we are in the process of conducting environmental studies for the project. The project is located in an area that may be of interest to your tribe. A brief summary of the proposed project as well as a map of its general location and a map of the specific project location are enclosed for your review. The summary includes information on archeological sites (if any) that are present within the area of the proposed project as well as the recommendations of TxDOT archeologists concerning the proposed project.

According to our procedures under Section 106 of the National Historic Preservation Act, we are writing to request your comments on historic properties of cultural or religious significance to your tribe that may be affected by the proposed undertaking. Any comments you may have on TxDOT's recommendations should also be provided. Please provide your comments within 30 days of receipt of this letter. Further consultation with your tribe will continue for this project in the event that archeological sites are identified during our investigations or during construction.

Thank you for your attention to this matter. If you have questions, please contact me at (512) 536-5971 or Mr. G. R. Dennis Price, TxDOT Archeologist, at (512) 416-2636.

Sincerely,

Edward E. Stephen, P.E.
Area Engineer

Enclosure

cc: w/enclosure: Mr. Patrick A. Bauer, P.E., FHWA District Engineer; Ms. Dianna F. Noble, P.E., Division Director/swb-file, TxDOT; Ms. Michelle Skinner, TxDOT-ENV, Project Manager; Mr. Robert Hall, TxDOT District Environmental Coordinator; **Mr. G. R. Dennis Price, TxDOT Archeologist**

The attached letter was sent to the following tribes on 02-03-03 :

Mr. James Lee Edwards, Governor
Jennifer Makaseah
Absentee-Shawnee Executive Committee
2025 S. Gordon Cooper Drive
Shawnee, OK 74801-9381

Mr. Alonzo Chalepah, Chairperson
Apache Tribe of Oklahoma
Cultural Heritage Committee
P. O. Box 1220
Anadarko, OK 73005

Dr. Joe Watkins
BIA-Anadarko
P. O. Box 368
Anadarko, OK 73005

Ms. LaRue Parker, Chairperson
Caddo Tribe of Oklahoma
P. O. Box 487
Binger, OK 73009

Mr. Bruce Gonzales, President
The Delaware Nation
P. O. Box 825
Anadarko, OK 73005

Mr. Charles D. Enyart, Chief
Eastern Shawnee Tribe of Oklahoma
P. O. Box 350
Seneca, MO 64865

Ms. Bobbi Darnell, Chairperson
Kickapoo of Kansas
P. O. Box 271
Horton, KS 66439

Mr. Danny Kaskaske, Chairperson
Kickapoo of Oklahoma
Business Committee
P. O. Box 70
McCloud, OK 74851

Mr. Raul Garza
Chairperson/NAGPRA Coordinator
Kickapoo Traditional Tribe of Texas
HC1 Route, Box 9700
Eagle Pass, TX 78852

Ms. Sara Misquez, President
c/o Donna Stern-McFadden
Mescalero Apache Tribe
P. O. Box 227
Mescalero, NM 88340

Mr. Eddie Tullis, Chairperson
Poarch Creek Indians
5811 Jack Springs Road
Atmore, AL 36502

Mr. John Miller, Chairperson
Pokagon Band of Potawatomi Indians of
Michigan
P. O. Box 180
Dowagiac, MI 49047

Ms. Tamara Summerfield, Chairperson
Quapaw Tribal Business Committee
P. O. Box 765
Quapaw, OK 74363

Mr. Billy Cypress
c/o W. S. Steele
Seminole Indian Tribe
Ah-Tah-Thi-Ki Museum
HC-61, Box 21A
Clewiston, FL 33440

Mr. Jerry Haney
Principal Chief
Seminole Nation of Oklahoma
P. O. Box 1498
Wewoka, OK 74884

Seminole General Council
Seminole Nation of Oklahoma
P. O. Box 1-498
Wewoka, OK 74884

Mr. Gary McAdams
President
Wichita and Affiliated Tribes
P. O. Box 729
Anadarko, OK 73005

PROJECT SUMMARY

CSJ: 0008-13-123; IH 820, from Pipeline Road/Glenview Drive south to Randol Mill Road

The proposed project is located on IH 820 between Pipeline Road/Glenview Drive and Randol Mill Road in the cities of Richland Hills, Hurst, and Fort Worth in Tarrant County. The existing IH 820 between Pipeline Road/ Glenview Drive and SH 121 (south interchange) consists of four lanes in each direction with 10 ft wide shoulders on each side and one and two-lane, one-way frontage roads. The median is typically 40 ft wide between the shoulders, but varies in the interchange area. The northbound and southbound paved surfaces are 68 ft wide, including the shoulders. The existing IH 820 between South of SH 121 (south) interchange and Randol Mill Road, consists of two lanes in each direction. The median is 40 ft wide. The northbound and southbound paved surfaces are 68 ft wide, including 10 ft wide outside shoulders and 4 ft wide inside shoulders. Existing right-of-way varies between 350 ft and 400 ft in width and is wider at interchange locations.

The proposed project would expand IH 820. The project would include the reconstruction of the IH 820/ SH 121 south interchange, reconfiguration of the IH 820/ Trinity Boulevard interchange, widening portions of the existing roadway from eight lanes to twelve lanes, widening other portions from four lanes to eight lanes, and addition of High Occupancy Vehicle (HOV) lanes. Approximately 59 acres of additional right-of-way (mainly from the northern half of the West Fork of the Trinity River floodplain and previously disturbed by gravel mining operations) would be required to construct the proposed project.

A review of the Texas Historic sites Atlas on January 14, 2002 (and again on January 27, 2003) revealed no previously recorded archeological sites within or adjacent to the project area. An archeological impact evaluation of the proposed project was conducted by TxDOT archeologists. They observed that the proposed project area of potential effect (APE) had been extensively disturbed and that there were no settings with reasonable potential to contain archeological historic properties (36 CFR 800.16.(1)). No further archeological survey or additional research is proposed prior to project construction.

In the event of the unexpected discovery of archeological materials during construction, work will cease in the immediate vicinity of the discovery until the discovery has been evaluated for significance, and, if appropriate, until Native American consultation and data recovery has been completed.

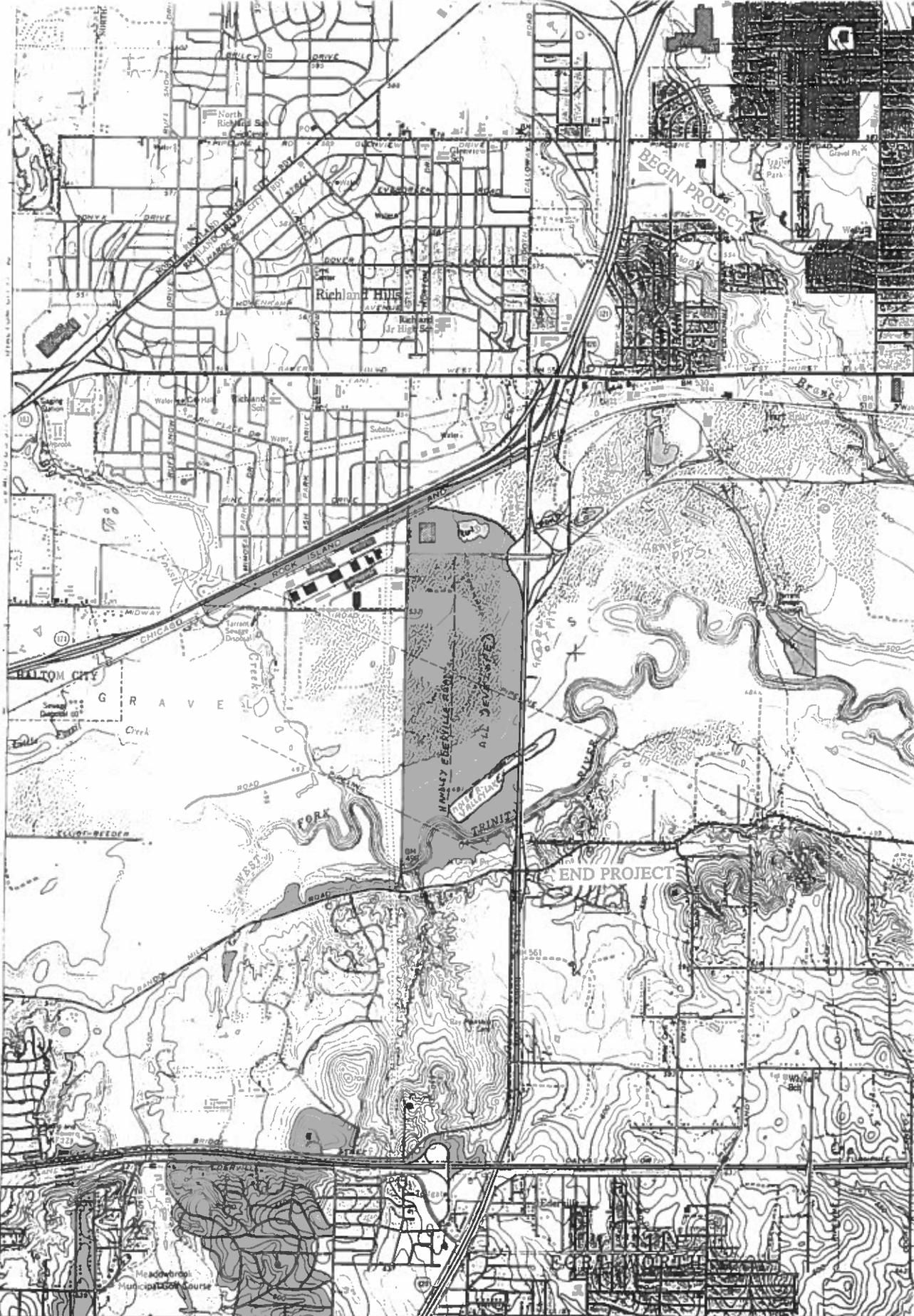
County Location Map

County: Tarrant

Project CSJ: 0008-13-123

Project Name: IH-820, from Pipeline Road/Glenview Drive, south to Randol Mill Road,
Tarrant County, Fort Worth District, Texas.





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 TEXAS
 QUADRANGLE LOCATION
 CONTOUR INTERVAL 10 FEET
 DOTTED LINES REPRESENT 5 FOOT CONTOURS
 DATUM IS MEAN SEA LEVEL
 UTM GRID AND 1973 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET W 2ND ECH.

TxDOT ENVIRONMENTAL AFFAIRS DIVISION ARCHEOLOGICAL IMPACT EVALUATION

Date: January 29, 2003

Highway: IH 820 from Pipeline Road/Glenview Drive
south to Randol Mill Road

Counties: Tarrant

USGS Quad(s): Hurst [3297-442]

CSJ: 0008-13-123

Date(s) of Evaluation: 01/17/2002

Jurisdiction: Federal State

District: Fort Worth

Project Type: Reconstruct interchanges, widen interstate, and add HOV lanes

Total Project Acreage: about 200 acres

New ROW Acreage: 59.0 acres

Easement Acreage: 0.0 acres

Subsurface Excavations: Surface inspection only

Previous Work/Sites Present: A check of the Texas Archeological Sites Atlas revealed no recorded archeological sites within the proposed project APE. Site 41TR68, a shell midden, was recorded about 1.25 km west of the project, within a gravel pit. The site form noted that the site had been severely disturbed and that construction was rapidly changing the area. Site 41TR151, a destroyed lithic site within another gravel pit and reportedly from a depth of 10 feet, was recorded about 3 km east of the project.

Performed by: Mike Jordan, Cindy Tennis

Project Description and Impacts: The proposed project would expand IH 820. The project would include the reconstruction of the IH 820/ SH 121 south interchange, reconfiguration of the IH 820/ Trinity Boulevard interchange, widening portions of the existing roadway from eight lanes to twelve lanes, widening other portions from four lanes to eight lanes, and addition of High Occupancy Vehicle (HOV) lanes. The existing right of way varies in width between 350 and 375 feet, with considerably wider areas at interchanges. The "normal" right of way width would be increased to a uniform 400 feet, again with wider areas at the interchanges. Proposed right of way requirements are depicted on the attached section of quad map. Most of the required right of way (highlighted) is between Trinity Boulevard and Baker Boulevard/West Hurst Boulevard, on the northern edge of the Trinity River floodplain, where it has been extensively disturbed by gravel pit operations and the Chicago, Rock Island, and Pacific Railroad. Beyond these limits, right of way requirements would consist of strips up to 25 feet wide beyond the existing right of way.

Additional Comments on this Section: None

Environmental Description

Topography: The southern end of the project is on the uplands at the edge of the floodplain of the West Fork of the Trinity River, the project crosses the floodplain of the West Fork of the Trinity River and adjacent uplands north of the floodplain, with the northern terminus just north of Calloway Branch, that flows into the Trinity via Walker Branch. Elevation of the floodplain is at about 500 feet AMSL, while the southern valley wall reaches elevations of about 550 feet AMSL. Terrain north of the floodplain ranges between about 550 and 570 feet AMSL.

Geology: The Geologic Atlas of Texas, Dallas Sheet (Bureau of Economic Geology: 1987) depicts Recent (Holocene) alluvium within the floodplain of the West Fork of the Trinity River, with Pleistocene fluvial deposits on the adjacent "uplands".

Soils: According to the Soil Survey of Tarrant County (Soil Conservation Service 1981: map sheets 25 and 31) soils north of Calloway Creek are mapped as Urban land complex and consists of areas that are 85 to 100 percent covered by buildings or pavement. One small section north of the creek is mapped as Bastil-Urban land complex (1 to 3 percent slopes). The areas immediately adjacent to Calloway Creek are mapped as Frio-Urban land complex (occasionally flooded) west of IH 820 and Pulexas-Urban land complex (0-5 percent slopes) east of the interstate. South of Calloway Creek to the IH 820 - SH 121 interchange soils in the project area are mapped as Bastil-Urban land complex (0-5 percent slopes) and Arents loamy. Arents loamy soils have been

smoothed and reclaimed after sand and gravel mining operations were suspended. From the IH 820 - SH 121 interchange south 1.25 miles the soils on the west side of the road are mapped as Arents loamy. South of this point, soils on the west side of the interstate are mapped as Ovan clay (occasionally flooded). East of the interstate and south of the IH 820 and SH 121 interchange soils are mapped as a mixture of Arents loamy and Ovan clay (occasionally flooded).

Land Use: Much of the project will be confined to existing highway right of way that has already been extensively disturbed by highway construction and maintenance. Proposed right of way (or easement) includes that of the Chicago, Rock Island and Pacific/Trinity Railway Express. Much of the Trinity River floodplain has been extensively disturbed by gravel mining operations, and the area west of the highway between Trinity Boulevard and the Trinity River has been developed. Areas adjacent to the existing highway beyond the floodplain have been disturbed by construction, buildings, car parks, utilities etc.

Vegetation: Types of vegetation consist primarily of maintained highway ROW grasses and disturbed lands with sparse vegetation.

Comments on Environmental Setting: none

Results of Assessment

No settings with reasonable potential to contain archeological historic properties or SALs were observed.

Recommendations

TxDOT seeks concurrence that no settings with reasonable potential to contain archeological historic properties (36 CFR 800.16.(1)) or SALs (13 TAC §26.12) were noted during this evaluation. In accordance with the PA and MOU, no further work is recommended and no further consultation is required.

Comments and Justification

The project is depicted on the attached section of USGS Hurst [3297-442] 7.5' topographic quad. Photos of the area are also attached, though traffic considerations prevented photography of all areas.

Beginning at the north end of the project, areas adjacent to both sides of the existing disturbed highway right of way between Pipeline Road/Glenview Drive and Calloway Branch have been extensively developed, with utilities, car parks, and buildings (Photos 493 and 495).

Calloway Branch has been extensively disturbed on the north bank, there is a buried sewer line along the creek, and the south bank is concrete-lined, with developed areas to the south (Photos 496, 498, 499).

From Calloway Branch to Baker Boulevard West/West Hurst Boulevard both sides of the existing disturbed right of way have been developed (Photos 501, 503).

IH-820 crosses SH 121 and the Chicago, Rock Island, and Pacific RR (Trinity Railway Express) on a bridge section (Photo 504). Most of the area of proposed new right of way west of the highway, between the railroad and Trinity Boulevard is within a reclaimed mining area. Similarly, all of the proposed right of way east of the highway has been extensively mined, with a cut drainage channel and a large pond being present.

South of Trinity Boulevard to the Trinity River channel, the area west of the highway has been extensively developed since 1973, and the small slough depicted on the quad north of the Trinity River channel has been considerably expanded to become Moiser Valley Lake. Reclaimed mining land is adjacent to the existing right of way east of the highway, for about the northern half of the segment. The southern half of the segment is within a conservation easement, but no new right of way will be acquired from the easement.

The banks and channel of the Trinity River channel exhibited considerable erosion around the existing bridge columns from the channel, and there were numerous deep eroding gullies in the banks. The numerous cuts and exposures did not reveal any cultural material (Photos 510, 511, 512, 514).

The final segment south of the Trinity River channel has been heavily developed adjacent to the right of way (Photo 507).

**CSJ: 0008-13-123; IH-820 from Pipeline Road/Glenview Drive, south 121 to Randol Mill Road
PHOTOS**



Photo 493. Looking south from Pipeline Road at north-bound frontage road of IH-820. Areas adjacent to existing right of way have been extensively developed.

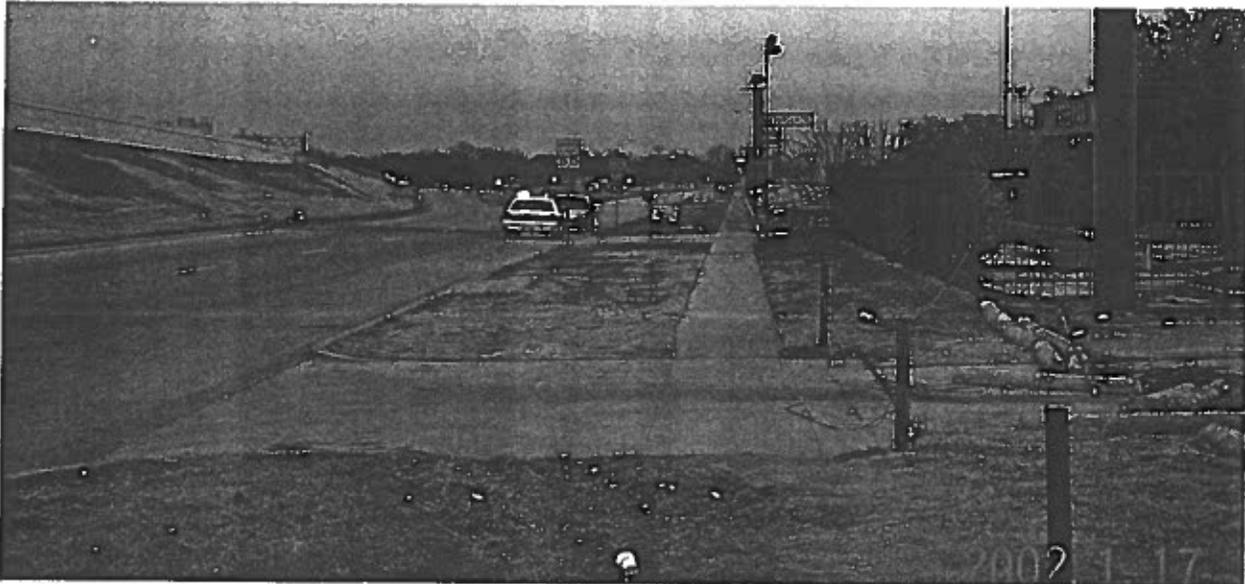


Photo 495. Looking south from Glenview Drive at south-bound frontage road of IH-820. As east of the interstate, areas adjacent to the existing right of way have been extensively developed.



Photo 496. Looking northwestish at Calloway Branch west of IH-820, with developed areas adjacent to existing highway right of way north of creek. Calloway Branch appeared to be very disturbed with a buried sewer line along the channel. A man-hole is visible just beyond the water at the bridge.



Photo 498. Looking south across Calloway Branch from west of IH-820. South bank of Branch is cement-lined, with developed area beyond the cement-lining. Flagged stakes indicate limits of proposed new right of way.



Photo 499. Looking east along Calloway Branch from west of IH-820. Four separate bridges visible: south-bound frontage road, south-bound main lanes, north-bound main lanes and north-bound frontage road. South bank clearly concrete-lined between bridges and extending well beyond the eastern bridge. North bank is also concrete-lined between the bridges, with concrete extending well beyond the far bridge. Also visible extending from the concrete lining beyond the far bridge are highway drainage pipes.

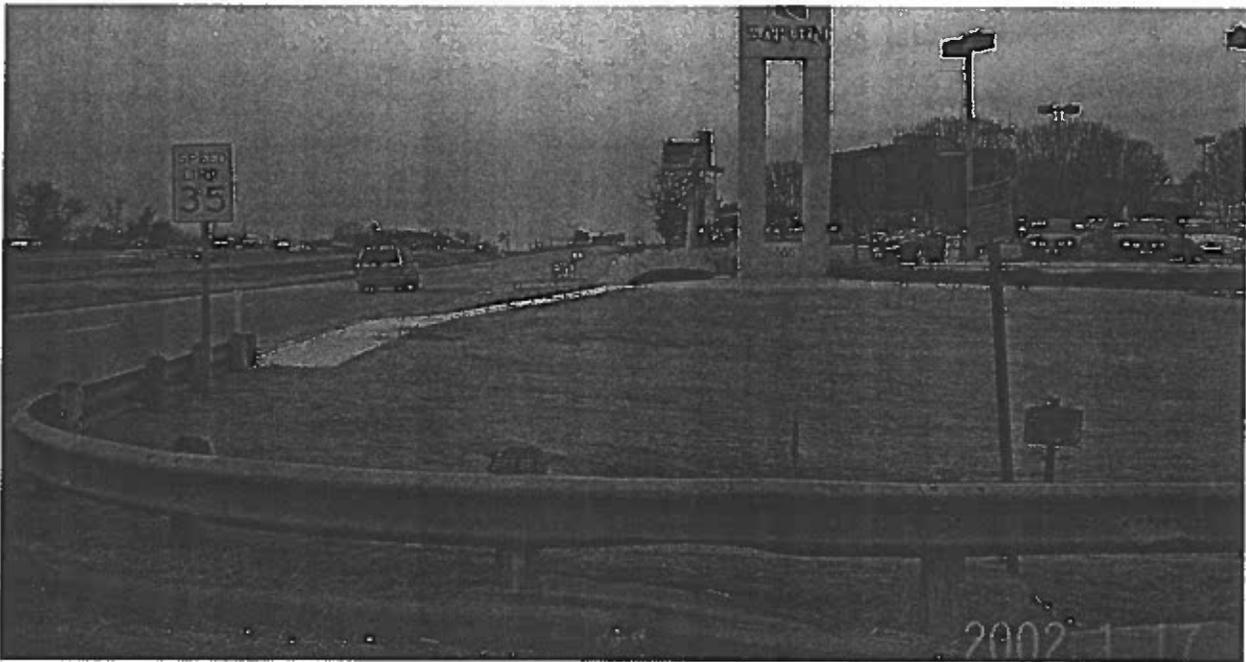


Photo 501. Looking south from south bank of Calloway Branch, west of IH-820, at developed area adjacent to existing right of way. Buried cable markers only hint at totality of buried utilities. Flagged stake indicates limit of proposed new right of way.

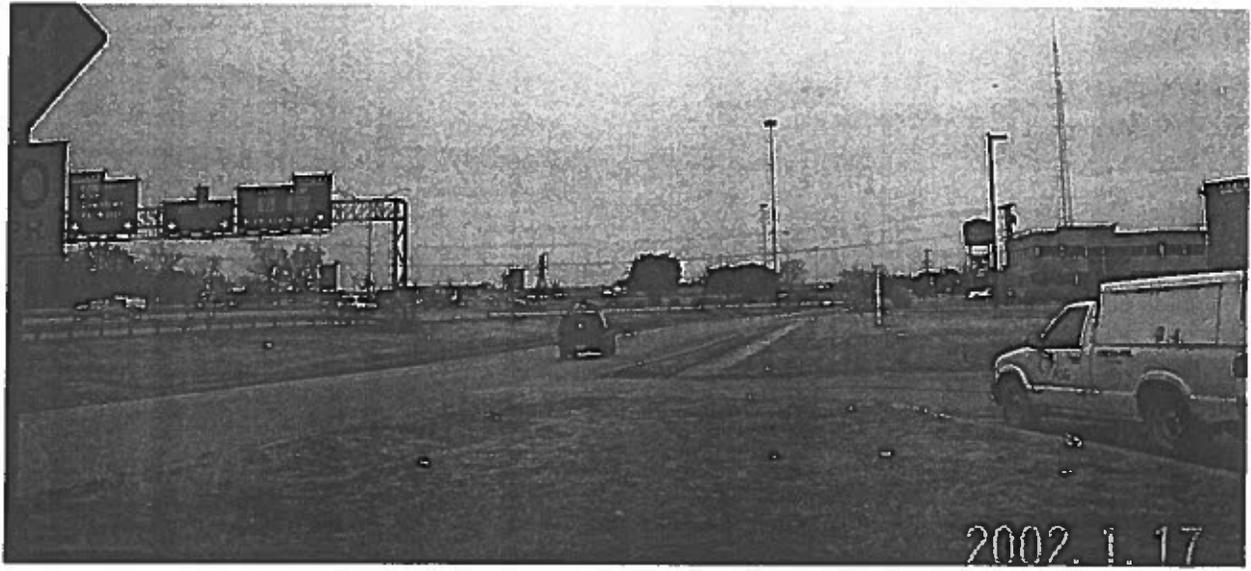


Photo 503. Looking south, along west side of south-bound frontage road from between Calloway Road and Baker Boulevard West (SH 183) at developed areas adjacent to existing right of way. Box for buried telephone cable visible behind driveway, blue pin flags by white truck also indicate buried utilities.



Photo 504. Looking west at SH 121 from IH-820 overpass. The Chicago, Rock Island, and Pacific RR (Trinity Railway Express) right of way parallels the SH 121 frontage road at the left side of the picture.

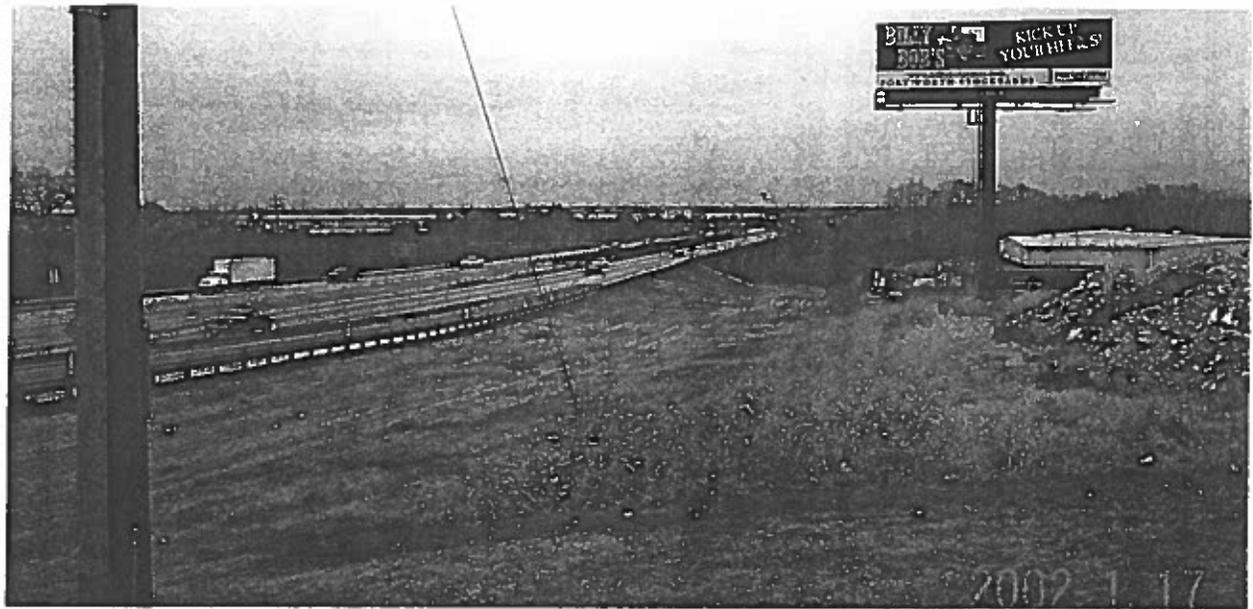


Photo 507. Looking north along east side of IH-820 from Randol Mill Road; approach to bridge on slight fill section. Right of way to edge of Trinity River exhibits considerable disturbance, with development to the east side. Some of the recent development on the floodplain of the Trinity River west of IH-820 is also visible, even if only barely.

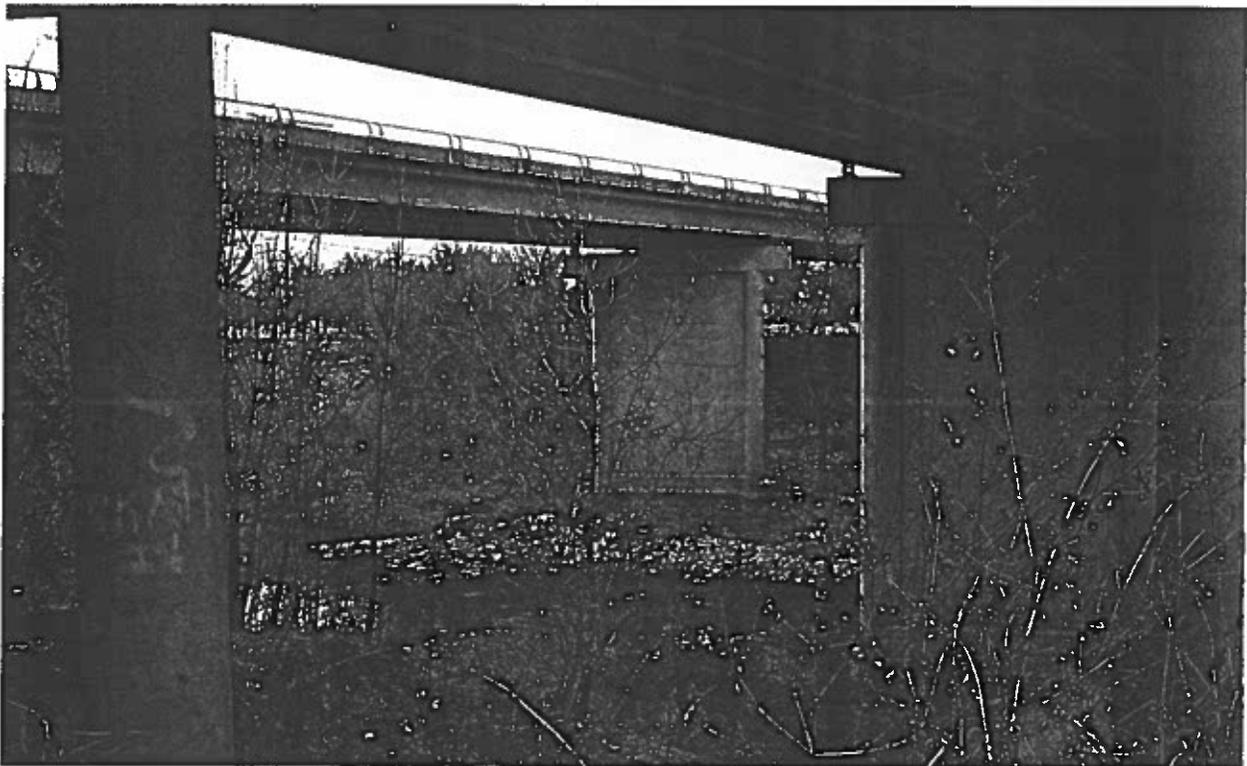


Photo 510. Looking west of north across Trinity River channel scour evident on north bank around support of western bridge. Cut ditch visible in north bank, to the west of the bridge.

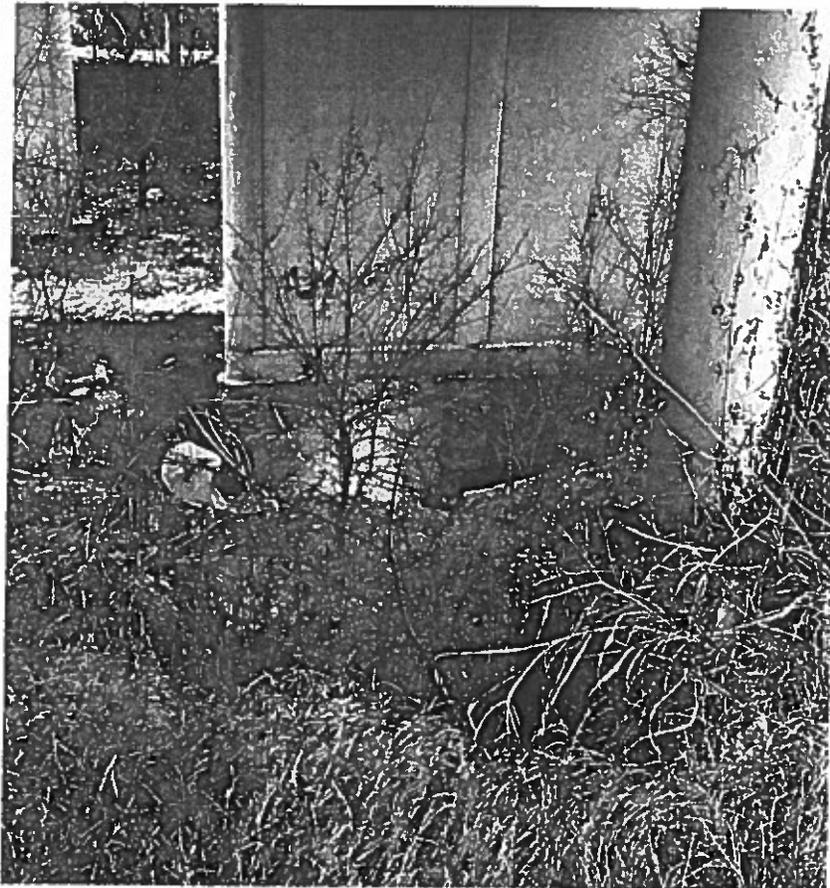


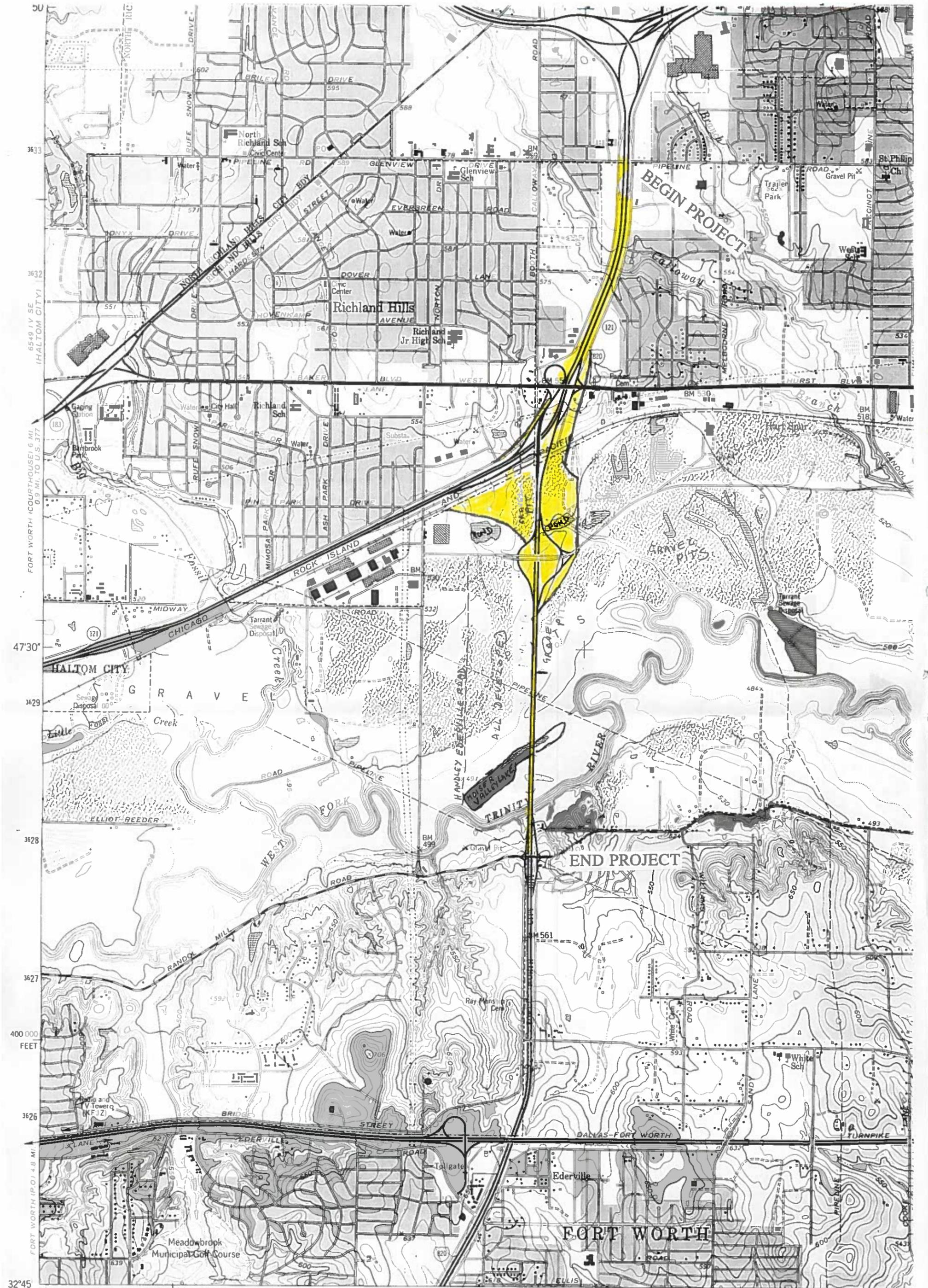
Photo 511. Evidence of channel (and bank) erosion around supports of north-bound bridge.



Photo 512. Bank erosion from main channel as well as bank gully-ing on south bank of West Fork of Trinity River.



Photo 514. South bank of West Fork of Trinity River, showing considerable erosion.



HURST, TEX.

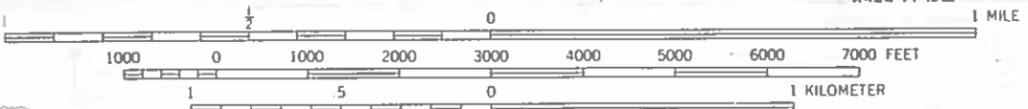
SW/4 GRAPEVINE 15 QUADRANGLE
N3245-W9707.5/7.5

1959

PHOTOREVISED 1968 AND 1973
AMS 6549 I SW - SERIES V882



QUADRANGLE LOCATION



CONTOUR INTERVAL 10 FEET
DOTTED LINES REPRESENT 5-FOOT CONTOURS
DATUM IS MEAN SEA LEVEL

UTM GRID AND 1973 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET
8° 17 MILS
0° 59' 17 MILS
142 MILS

UTM grid ticks,



Historical Resources

I-820/SH 121 Northeast Interchange

Tarrant County
Fort Worth District

Main CSJ: 0008-13-124

Associated CSJs: 0008-13- 179, 202, 210, 221, 235, 236 & 237
and 0363-03-051 & 054

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT



MEMO

August 30, 2017

TO: Administrative File
From: Carolyn A. Nelson

District: Fort Worth
County: Tarrant
CSJ#: 0008-13-124
Highway: Interstate Highway (IH) 820
Let Date: December 2017

Project Limits: Approximately 2000 feet north of Pipeline Road/Glenville Drive to approximately 3200 feet south of Randol Mill Road, and to reconstruct the State Highway (SH) 121 interchange from the southern IH 820/SH 121 interchange to approximately 5000 feet west of Handley-Ederville Road.

Project Description: Stipulation IX, Appendix 6. Reconstruct and widen roadway. 23 acres of new ROW, 0.025 acre permanent easement. No historic properties present.

SUBJECT: Internal review under the Section 106 Programmatic Agreement (Section 106 PA) among the Texas Department of Transportation, Texas State Historic Preservation Officer, Advisory Council on Historic Preservation, and Federal Highway Administration; and the Memorandum of Understanding (MOU) between the Texas Historical Commission (THC) and the Texas Department of Transportation (TxDOT)

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT.

Existing Conditions:

This memo addresses a reevaluation of a previously cleared project that received a Finding of No Significant Impact (FONSI) in 2004. Design changes to the originally coordinated project include the extension of the proposed project area limits. The 2002 survey evaluated historic age resources to 1952 with a finding of no historic age properties in the area of potential effect (APE) which constituted a negative survey not requiring individual consultation with the THC. To update the survey to current standards requires an evaluation of historic age resources to 1972. Because of these changes TxDOT historians called for a new historic resource survey for the entire proposed project area.

Proposed Project:

The City of Fort Worth and TxDOT proposes to reconstruct and widen Interstate (IH) 820 and State Highway (SH) 121 interchange in northern Tarrant County. The widening of IH 820 includes adding managed toll lanes

OUR VALUES: *People • Accountability • Trust • Honesty*

OUR MISSION: *Through collaboration and leadership, we deliver a safe, reliable, and integrated transportation system that enables the movement of people and goods.*

An Equal Opportunity Employer

Determination of Eligibility:

TxDOT historians reviewed the National Register of Historic Places (NRHP), the list of State Antiquities Landmarks (SAL), the list of Recorded Texas Historic Landmarks (RTHL), and TxDOT files and found no historically significant resources previously documented within the area of potential effects (APE). The TxDOT Section 106 Programmatic Agreement defines the APE for this project as the parcels associated 150 feet from where new right-of-way (ROW) is needed and the current ROW where no new ROW is needed.

Based on the *Report for Historical Studies Survey CSJ 0008-13-124 Historic Resources Survey Report, I-820, Tarrant County, Fort Worth District*, attached, Sixteen historic-age resources (constructed prior to 1973) located on sixteen properties were evaluated as individual properties and historic district eligibility within the APE and are all determined not eligible.

Consulting Parties:

On August 30, 2017, a TxDOT historian contacted Tarrant County Historical Commission Chair (CHC) Steve Myers who indicated he could not comment because he was not educated in historic resources and deferred to the new Historic Preservation Officer. Mr. Myers said he would have them contact TxDOT. Dawn Youngblood followed up soon thereafter and indicated she would be the new Historic Preservation Officer (HPO) contact starting October 1, 2017. Ms. Youngblood agreed to address the September 27, 2017 CHC meeting to discuss the committee's opportunity to comment. Ms. Youngblood agreed to review the attached survey and a copy of this draft memo within the short time constraints by September 11, 2017. Ms. Youngblood followed up with several questions via email, attached.

On August 31, 2017, a TxDOT historian discussed the project with Cindy Wilson-Arrick Tarrant CHC and Certified Local Government (CLG) contact. Mrs. Wilson-Arrick also indicated she would review and possibly comment within the short time constraints by September 11, 2017.

TxDOT historians followed up regarding questions above. On September 6, a TxDOT historian contacted both consulting parties to ask if they had any additional questions or concerns. Ms. Youngblood and Mrs. Wilson-Arrick expressed they are satisfied the proposed project would not adversely affect any historic properties.

Determination of Effects:

There are no historic properties present in the proposed project APE.

Therefore, pursuant to Stipulation IX, Appendix 6 "Undertakings with the Potential to Cause Effects per 36 CFR 800.16(i)" of the Section 106 PA and the MOU, TxDOT historians determined that there are no historic, non-archeological properties present in the APE. In compliance with the Antiquities Code of Texas and the MOU, TxDOT historians determined project activities have no potential for effects. Individual project coordination with SHPO is not required.

Lead Reviewer	<u>Carolyn A. Helwig for RD</u>	for TxDOT	<u>9.7.17</u>
	Rebekah Dobrasko		Date
Approved by	<u>Bruce Jensen</u>	for TxDOT	<u>9.7.17</u>
	Bruce Jensen		Date



Historical Resources Survey Report

Reconnaissance Survey

Project Name: I-820

Project Limits: From SH 121 to Randol Mill Road

District(s): Fort Worth

County(s): Tarrant

CSJ Number(s): CSJ 0008-13-124

Principal Investigator: Heather Goodson, Cox|McLain Environmental

Consulting Report Completion Date: September 2017

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated 12-16-2014, and executed by FHWA and TxDOT.

This historical resources survey report is produced for the purposes of meeting requirements under Section 106 of the National Historic Preservation Act, the Antiquities Code of Texas, and other cultural resource legislation related to environmental clearance as applicable.

Abstract

The Texas Department of Transportation (TxDOT) Fort Worth District Office proposes to reconstruct a portion of the existing Interstate Highway 820 (I-820) from approximately 2,000 feet north of Pipeline Road/Glenville Drive to approximately 3,200 feet south of Randol Mill Road, and to reconstruct the State Highway 121 (SH 121) interchange from the southern I-820/SH 121 interchange to approximately 5,000 feet west of Handley-Ederville Road (see **Figure 1** in **Appendix C**). The proposed project is approximately 6 miles in length, and it is located in Tarrant County, Texas, passing through the cities of Fort Worth, Richland Hills, North Richland Hills, and Hurst. Approximately 23 acres of additional right-of-way (ROW) and 0.025 acres of permanent easement would be required to construct the proposed project. See project design schematics in **Appendix D** for details.

A reconnaissance survey was conducted of the Area of Potential Effects (APE), which was defined as 150 feet from proposed ROW in sections where new ROW would be required and existing ROW in areas where work would be in the existing ROW. In all, 16 historic-age resources (constructed prior to 1973) located on 16 properties were documented. Additionally, 13 non-historic-age resources associated with historic-age resources were documented in the inventory but are not described in this report.

The documented, historic-age resources are categorized based on historic function/use as follows:

Commerce/Business	1
Commerce/Professional	2
Domestic/Multiple Dwelling	1
Domestic/Motel	1
Domestic Single Dwelling	11

None of the documented resources are recommended eligible for the National Register of Historic Places (NRHP) as a result of the survey.

Table of Contents

Abstract.....	3
Project Identification.....	5
Project Description.....	6
Section 106 Consulting Parties	7
Stakeholders	8
Project Setting/Study Area	9
Survey Methods	11
Survey Results.....	11
Historical Context Statement	13
National Registry of Eligibility Recommendations	17
Determination of Section 106 Effects Recommendations	21
U.S. DOT Section 4(f) Applicability Statement.....	21
References Cited.....	22
Appendix A: Tabular Inventory of Surveyed Properties.....	26
Appendix B: Survey Forms for All Surveyed Properties	29
Appendix C: Figures	90
Appendix D: Schematics.....	98
Appendix E: Supplemental Photographs and Images	109
Appendix F: Consulting Party Comments	123

Project Identification

- Report Completion Date: 09/07/17
- Date(s) of Fieldwork: 8/17/2017
- Survey Type: Windshield Reconnaissance Intensive
- Report Version: Draft Final
- Regulatory Jurisdiction: Federal State
- TxDOT Contract Number: 57609SH002
- District or Districts: Fort Worth
- County or Counties: Tarrant
- Highway or Facility: I-820
- Project Limits:
 - From: SH 121
 - To: Randol Mill Road
- Main CSJ Number: 0008-13-124
- Report Author(s): Heather Goodson, Sandy Shannon, Izabella Dennis, Emily Reed, Cox|McLain Environmental Consulting, Inc.
- Principal Investigator: Heather Goodson
- List of Preparers: Heather Goodson, project management and QAQC; Sandy Shannon and Izabella Dennis, research, fieldwork, inventory, and report preparation; Emily Reed, QAQC; Cox|McLain Environmental Consulting, Inc.

Project Description

- **Project Type:** Roadway improvements

- **Proposed Project Activities:**

The northern section of the proposed project along I-820 extends from the northern I-820/SH 121/SH 183 interchange south to Trinity Boulevard. In this area, the project would reconstruct the roadway to include up to five northbound and six southbound general-purpose lanes, in addition to auxiliary lanes. The proposed project would also include one managed toll lane in each direction and continuous frontage roads that would vary from one to three lanes in each direction along this northern section. At the southern end of the I-820 project area, extending from Trinity Boulevard to Randol Mill Road, the proposed project would reconstruct this section of roadway to include five general purpose lanes in each direction.

From I-820 to Handley-Ederville Road on SH 121, the proposed project would reconstruct the roadway to include three general purpose lanes in each direction, one managed toll lane in each direction, and continuous frontage roads varying from one to three lanes in each direction.

The entire length of the project would have 6-foot-wide pedestrian sidewalks, and a 14-foot-wide shared-use lane for cyclists would run along the frontage roads.

- **Total Project Length:** Approximately 6 miles
- **New Right of Way (ROW):** Approximately 23 acres
- **Permanent Easement Acreage:** 0.025 acres
- **Temporary Easement Acreage:** 0.0 acres
- **Area of Potential Effects (APE):**

- Existing ROW

- 150' from Proposed ROW and Easements

- 300' from Proposed ROW and Easements

- Custom: ____ from Proposed ROW and Easements

Defined as existing ROW in sections where proposed project would not require new

ROW and 150 feet from proposed ROW in sections where new ROW would be required, in accordance with the *Programmatic Agreement Among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings*.

- **Historic-Age Survey Cut-Off Date:** 1972 (45 years prior to let date of 2017)
- **Study Area** 1,300 feet from edge of the APE

Section 106 Consulting Parties

- **Public Involvement Outreach Efforts:**

The I-820 project, initiated in 1982, began with the analysis of three Build Alternatives. A public meeting was held in 1993 to present the three alternatives to the public. Comments were made regarding access, entrance and exit ramps, and widening alternative roadways.

In 2000, TxDOT held meetings with Fort Worth, Hurst, Richland Hills, North Richland Hills, and the Fort Worth Transportation Authority (The T) to provide an update on the progress of the project and receive comments. All comments presented at the Public Meeting and subsequent meetings were analyzed and included in the design, when feasible. Of the three original alternatives, Alternative 3, which was revised to include components of Alternatives 1 and 2, became the Preferred Alternative. This alternative included reconstruction of the south interchange with SH 121, widening and upgrading the highway to an eight- to ten-lane facility with auxiliary lanes, continuous frontage roads, and a reversible high-occupancy vehicle lane from the north interchange at SH 121 to Trinity Boulevard. This Preferred Alternative was presented to the public at a Public Hearing and the project received a Finding of No Significant Impact on March 18, 2004.

A Public Meeting was held on April 4, 2013, at the Hurst Brookside Community Center, 1244 Brookside Drive, Hurst, Texas 76053. The purpose of the Public Meeting was to provide information regarding proposed improvements to I-820 from the north interchange at SH 121 to Randol Mill Road and SH 121 from Handley-Ederville Road to the I-820/SH 121 interchange in the cities of Fort Worth, Hurst, Richland Hills and North Richland Hills. The notices for the Public Meeting were published in *The Fort Worth Star-Telegram*, and in *La Semana* and *La Estrella*, Spanish-language newspapers. Notices were also mailed, in English and in Spanish, to the adjacent property owners. Sixty-eight people attended the meeting and 12 written comments were received. TxDOT thoroughly analyzed all, and responded to many of the comments. All commenters received a thank you letter from TxDOT. No comments were received in opposition to the

project. The largest number of comments regarded changes to the ramp locations and other comments were specific to the commenter's property.

On April 24, 2014, a Public Meeting was held at the 2013 Public Meeting location in Hurst. The purpose of the meeting was to provide updated information and changes in the design as a result of the April 3, 2013, Public Meeting. The notices for the Public Meeting were published in *The Fort Worth Star-Telegram*, and in *La Semana* and *La Estrella*, Spanish-language newspapers. Notices were also mailed to the adjacent property owners and those that had attended the 2013 Public Meeting. Sixty-one people attended the meeting and nine written comments were received. TxDOT thoroughly analyzed all, and responded to many of the comments. All commenters received a thank you letter from TxDOT. No comments were received in opposition to the project. The largest number of comments regarded concerns about traffic noise and other comments were specific to the commenter's property.

A public hearing is currently being planned for the end of September 2017.

- **Identification of Section 106 Consulting Parties:**

Per 36 CFR 800, the Texas Historical Commission has been identified as a consulting party. The Tarrant County Historical Commission has been identified as a stakeholder in the section below. No other individuals or organizations with a demonstrated interest in the project have been identified.

- **Section 106 Review Efforts:**

Per 36 CFR 800 and the stipulations of the *Programmatic Agreement Among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings*, TxDOT may afford the Texas Historical Commission an opportunity to review and comment on the historic resources eligibility determinations and project effects determinations.

- **Summary of Consulting Parties Comments:**

Consultation with consulting parties has not yet been conducted. No comments pertaining to historic resources were received during public meetings.

Stakeholders

- **Stakeholder Outreach Efforts:**

The Tarrant County Historical Commission was contacted informally via email regarding the proposed project. CMEC Historians also followed up with a telephone call on August 25, 2017, and left a voice mail message.

- **Identification of Stakeholder Parties:**

Steve Myers
Tarrant County Historical Commission
8704 Canyon Crest Road
Fort Worth, Texas 76179
817-944-8578
817-821-9572
yippy-io1876@sbcglobal.net

- **Summary of Stakeholder Comments:**

To date, no response to the inquiries has been received.

Project Setting/Study Area

- **Study Area**

The study area is defined as the APE plus a 1,300-foot buffer area extending from the edge of the APE, in accordance with TxDOT standards. The study area includes the northeast side of Fort Worth, the east side of Richland Hills, the southeast corner of North Richland Hills, and the southwest corner of Hurst.

A review of the Texas Historic Sites Atlas indicates there are no properties or districts within the study area designated as National Historic Landmarks, State Antiquities Landmarks (SALs), or Recorded Texas Historic Landmarks, or listed in the NRHP. There are two Official Texas Historical Markers (Parker Cemetery #3938 and I.D. Parker Public Cemetery and Homestead #2609) and two cemeteries (Parker Cemetery and Ray-Manship Cemetery) located within the 1,300-foot study area. The Ray-Manship Cemetery was razed in 1984, and several of the graves were reinterred at the Rose Hill Cemetery (Awbrey and Dooley 2005). Aerial maps confirm that the cemetery is no longer extant. According to the Tarrant County website, the historical marker depicting the former location of the cemetery is in the hands of the developers (Tarrant County Website 2017) (it was confirmed to be absent during field work). The current site is utilized as a gas-oil pad site.

According to the TxDOT GIS data for historic bridges and historic districts and properties, there are no historic bridges, historic districts, or historic properties within the study area.

A number of historic-age bridges/culverts are located in the APE. See Figure 3 for the location of each bridge. Constructed between 1963 and 1968, the bridge types are prestressed concrete girder or steel girder. Bridges such as these were constructed in vast numbers after World War II using standardized plans as the interstate highway system was being constructed. These bridge types have been identified in the Advisory Council for Historic Preservation's November 2012 *Program Comment for Common Post-1945 Concrete and Steel Bridges* as types that are considered to be well-documented standardized designs that lack individual distinction. Furthermore, the bridges over I-820 are exempted from consideration as a historic property under the Advisory Council for Historic Preservation's 2005 *Section 106 Exemption Regarding the Effects to the Interstate Highway System*. For these reasons, the historic-age bridges located within the proposed project's APE are exempt from documentation and evaluation in this survey.

- **Previously Evaluated Historic Resources**

None

- **Previously Designated Historic Properties**

None

- **Previously Designated Historic Districts**

None

- **Historic Land Use**

Based on review of historic aerial photographs and topographic maps, the study area began to see residential, commercial, retail, and light industrial land use development along I-820 during the mid-twentieth century. Prior to that time, the area was primarily rural agricultural land or undeveloped forested areas.

- **Current Land Use and Environment**

The proposed project passes through the cities of Fort Worth, Richland Hills, North Richland Hills, and Hurst. The West Fork of the Trinity River intersects the project near the southern terminus. Surrounding land use along most of the project limits is characterized by a mix of residential, retail, commercial, and light industrial land uses. There are some undeveloped forested areas adjacent to the West Fork of the Trinity River.

- **Historic Period(s) and Property Types**

Based on the survey results, the period of significance is 1955 to 1971, reflecting the post-World War II suburbanization of the area. The beginning date corresponds with the period of the earliest extant construction within the proposed project's APE. The end date reflects the date the North East Mall opened; the mall appears to have been the catalyst for commercial and retail development after that time period, particularly near the north end of the project area. Commercial, retail, light industrial, and multi-family residential property types generally line the project corridor and buffer adjacent residential subdivisions from the highways.

- **Integrity of Historic Setting**

Much of the development in the study area is not historic-age, dating from the mid-1970s to the present, compromising the integrity of the historic setting.

Survey Methods

- **Methodological Description**

A reconnaissance survey was conducted to identify and document properties in the APE that are 45 years old or older (constructed in 1972 or earlier) and to ascertain whether any resources warrant further study. The reconnaissance survey involved developing a historic context for the study area; the context includes relevant themes in the historical development of the area and the identification of property types in the APE.

- **Comments on Methods**

This survey complies with TxDOT documentation standards, although surveyors were prevented from taking effective photos of some buildings located on parcels where right-of-entry was not granted. In such cases, the resources were documented with limited photography and available aerial imagery.

Survey Results

- **Project Area Description**

As described in the sections on Current Land Use and Integrity of Historic Setting, the proposed project is located in Tarrant County, Texas, and passes through the cities of

Fort Worth, Richland Hills, North Richland Hills, and Hurst. The project area is characterized by a mix of land uses. Retail, commercial, and light industrial development is concentrated along I-820, SH 121, and major streets, and residential development is located farther from I-820/SH121 and between major streets. Undeveloped forested land is located on either side of the West Fork of the Trinity River, which intersects the project near the southern terminus.

▪ Literature Review

Cox|McLain Environmental Consulting, Inc. conducted the literature review in accordance with the TxDOT-approved Research Design. The literature review included available reports, studies, maps, and other data pertaining to the survey area. Research was conducted using online sources, local repositories, and archival collections, as identified below:

- The Texas Historical Commission's Texas Historic Sites Atlas website
- TxDOT's GIS data for historic bridges and previously inventoried districts and properties
- The Handbook of Texas Online articles and bibliographies on the following topics:
 - Hurst, Texas
 - Richland Hills, Texas
 - North Richland Hills, Texas
 - Fort Worth, Texas
 - Tarrant County, Texas
 - Trinity River
 - West Fork of the Trinity River
- Historic highway maps of Tarrant County (Texas State Highway Department 1936, 1958)
- Historic topographic maps and aerial imagery (from Nationwide Environmental Title Research [NETR] and USGS)
- Fort Worth Central Library, including the following:
 - Onita Coker and Betty Wilson, *The History of Richland Hills, Texas*, 1986
 - George N. Green, *Hurst, Euless, and Bedford: Heart of the Metroplex, An Illustrated History*, 1995
 - Ty Cashion, *The New Frontier: A Contemporary History of Fort Worth & Tarrant County*, 2006
 - *Tarrant County Historic Resources Survey, Selected Tarrant County Communities*, 1990—no identified sites were located within the study area

- Keller Public Library, for:
 - George N. Green, *The History of North Richland Hills*, 1998
- Mall Hall of Fame website, blog entry for North East Mall
- Tarrant County Clerk's Online Records
- Tarrant Appraisal District data
- Archival newspaper articles available on newspaperarchives.com related to postwar neighborhood development and developers
- TxDOT's *Survey Methodology for Mid-20th Century Subdivisions* (2014a) (draft)
- TxDOT's *Documentation Standard for Mid-20th Century Developments in a Historical Studies Report* (2014b) (draft)
- TxDOT's *Bibliographic Analysis of Mid-20th Century Architecture and Subdivision Reports* (draft)
- TxDOT's *Historic-Age Motels in Texas from the 1950s to the 1970s: An Annotated Guide to Selected Studies*
- National Park Service's *Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places*

Historical Context Statement

Community Planning and Development

Based on a review of historic aerial photographs and topographic maps, the survey area was primarily rural agricultural land or undeveloped forested areas prior to the mid-twentieth century (NETR 2017). During World War II, Tarrant County experienced a period of intense economic growth fueled primarily by war-related operations and manufacturing, and the growth of the aviation industry (Hightower 2010). Demand for housing and development continued after the war as veterans returned home, the population grew, and favorable mortgages became available. This demand, coupled with available financing for developers and the construction industry's new, large-scale production and prefabricated building techniques, resulted in the swift suburbanization of previously undeveloped land (Ames and McClelland 2002). In Tarrant County, 197,553 residents were recorded in the 1930 U.S. Census. Thirty years later, in 1960, the population had nearly tripled to 538,495 (Texas Almanac c. 2010).

The Texas State Highway Department's General Highway Maps illustrate that between 1936 and 1958, the City of Fort Worth annexed large tracts of land, including the area to the east of downtown where the project area is located. Beginning in the 1940s, many outlying communities began to incorporate to avoid annexation by Fort Worth

(Cashion 2006). Richland Hills, Hurst, and North Richland Hills, all located within the study area, were established in 1950, 1951, and 1953 respectively (Coker and Wilson 1986; Green 1995; Dunkelberg 2010).

Roads were also improved in the postwar period, increasing accessibility throughout the county and to Dallas to the east, and making it easier for people to live farther from jobs throughout the Dallas-Fort Worth metroplex. Additionally, several large employers established operations near the project area, including Amon Carter Field and Bell Helicopter, both of which opened in 1953, and Tarrant County College, which opened its Hurst campus in 1968, further increasing the demand for housing and development in northeast Fort Worth and the adjacent suburbs (Green 1995).

Developers of postwar communities in Tarrant County followed nationwide planning and design trends, selling both homes and a lifestyle (Ames and McClelland 2002). Large, previously undeveloped plats of land were purchased and subdivided into individual lots, and utility and street improvements were made. Contrary to the gridded street patterns of the past, postwar neighborhoods were often laid out in a curvilinear pattern, with a residential, single-family enclave located off major corridors. Homes were typically erected in the Ranch form to appeal to consumers' modern preferences, and ranged from tract housing in more modest neighborhoods to customized and stylized dwellings for more affluent buyers (Horak et al. 2015). Multi-family dwellings were sometimes erected within or along the boundary of the neighborhood, and some developers planned entire communities, incorporating facilities like parks, schools, and churches within neighborhood boundaries (Horak et al. 2015; TxDOT 2014a). Because automobile ownership was nearly ubiquitous among the middle- and upper-class, to whom these developments were typically targeted, new suburban communities lacked the dense commercial cores of their predecessors, and instead, automobile-oriented retail centers with expansive parking lots were located along major corridors, just a short drive away. Starting in the late-1950s and 1960s, enclosed shopping malls began to dot America's suburbs; eventually, large-scale regional malls designed to attract shoppers from a greater distance emerged (Scharoun 2012). North East Mall, which opened in 1971 in Hurst and is located in the study area, is a regional mall catering to residents of northeast Fort Worth and its surrounding suburbs (Mall Hall of Fame c. 2010).

Several postwar residential neighborhoods are located within the study area, one of which, the Richland Park Annex, intersects the APE in Richland Hills. It is a small, one-street tract on Gumwood Park, extending from the SH 121 frontage road one-and-a-half blocks north to Tower Street (**Figure 4** in **Appendix C**). It was developed by Ed L. Baker, a former Fort Worth City Councilman, who, under various companies and in collaboration with family members, was the initial developer of Richland Hills. Baker would go on to be a prolific developer of the area in the postwar years, primarily subdividing land, making improvements, creating deed restrictions, and selling lots to builders or individual buyers (Tarrant County Clerks Records 1949, 1952, 1953, 1965;

The Abilene Reporter-News 1957; Coker and Wilson 1986). The houses in Richland Park Annex are modest Minimal Ranches with nearly identical plans erected primarily in 1955 and 1956.

Outside the APE but within the study area are four postwar neighborhoods—Richland Park Addition, Richland Hills Addition, Hurst Hills Addition, and Richland Heights Addition—the first three of which can be attributed to Baker and his various development companies (Tarrant County Clerks Records 1949, 1952, 1953, 1965; Coker and Wilson 1986). The Richland Park Addition and Richland Hills Addition, developed in the 1950s, are located in Richland Hills, west of I-820 on either side of Baker Boulevard/SH 183, and the Hurst Hills Addition, developed in the 1960s, is in Hurst just east of I-820 and north of SH 10/Hurst Blvd (Tarrant Appraisal District 2017; NETR 2017). Richland Heights was developed in the late 1950s and 1960s and is located south and west of I-820 and north of Glenview Drive (Tarrant Appraisal District 2017; NETR 2017). As depicted in the photographs in **Appendix E**, the houses in these neighborhoods are Ranches and were designed primarily for middle-class buyers, though some lower-middle-class housing exists as well, and community amenities like schools, churches, and parks are located within the neighborhoods or nearby. None of these postwar neighborhoods are particularly noteworthy in terms of design or planning, and all have compromised integrity, primarily due to non-historic-age modifications to the residences, such as the replacement of windows, doors, and cladding; additions; and garage enclosures. Additionally, the neighborhoods are rather indistinguishable from each other and adjacent developments, and they are similar to nearby contemporaneous neighborhoods that have been previously determined not eligible for the NRHP (Newlan et al. 2008).

After SH 121 and I-820 were completed through the area in the mid-1960s, development activity shifted to the parcels adjacent the highway and interstate and continued into the late-1970s and 1980s (NETR 2017). Lining these roads are apartment complexes, office buildings, industrial buildings, and automobile-oriented businesses, such as motels, hotels, gas stations, and restaurants. Some undeveloped land remains in the study area, primarily east of I-820 in Fort Worth on either side of the West Fork of the Trinity River. This portion of the river is unchanneled and surrounded by woodlands (see photograph in **Appendix E**). It is located outside the limits of the NRHP-eligible Trinity River Floodway, which has an eastern boundary near Beach Street, approximately four miles west of the study area (Goodson 2017).

Hurst and Richland Hills were nearly entirely built out in the decades after World War II. Hurst had an estimated 100 residents in 1940, and just 30 years later, the population was 27,215, after which point growth plateaued (Green 2010; Texas Almanac c. 2000). Richland Hills almost fully developed within its first 10 years. By the time of its first census in 1960, the population was 7,804, a figure which would change only marginally in later years (Texas Almanac c. 2000). North Richland Hills' early civic leaders embarked on an aggressive annexation effort in the postwar years, and as a result,

growth and development occurred over an extended period of time (Green 1998). In 1953, when the city was incorporated, the population was approximately 400 residents (Historic Preservation Council for Tarrant County 1990). In 1970, it had 16,514 residents, and by 2010, the population was 63,343, making it one of the most populated suburbs in the area (Texas Almanac c. 2000; U.S. Census Bureau). Fort Worth would grow from a population of 278,778 in 1940, to 393,476 in 1970, and 741,206 in 2010 (Texas Almanac c. 2000; U.S. Census Bureau). Tarrant County, which had a population of approximately 225,000 in 1940 recorded over 1.8 million people in the 2010 census (Texas Almanac c. 2010; U.S. Census Bureau).

Transportation

The 1936 General Highway Map of Tarrant County shows several early highways radiating outward from downtown Fort Worth to neighboring communities, including SH 121, which extends northeast from Fort Worth toward Grapevine (Texas State Highway Department 1936). It intersected with Old State Highway 183 (now SH 10) near present day Haltom City, just west of the study area. No other major corridors serviced the study area, which was largely undeveloped, unincorporated land.

In 1944, the Federal Highway Act was signed into law, authorizing the creation of 40,000 interstate miles throughout the country; however, development was slow until the Federal Highway Act of 1956 was passed, which appropriated federal funds for construction (Texas Historical Commission c. 2013). Within a few decades, new interstates crisscrossed the country connecting major metropolitan areas, cities, and industrial centers, including the project area.

Texas was one of a few states that began expending state funds for road improvements after the Act of 1944, and by 1945, over 28,000 miles of state highways had been constructed (Texas Historical Commission c. 2013). The Texas Highway Department also made improvements to state highways and farm-to-market roads to service the state's large rural population (Texas Historical Commission c. 2013). In the study area, Old State Highway 183 from Richland Hills to Dallas was paved and upgraded to four lanes in 1950 (Green 2010).

In Texas, \$837 million were allocated for interstate construction as part of the Act of 1956, and planning began for the design, construction, and maintenance of interstates connecting the state's major cities, including I-820 outside of Fort Worth (Texas Historical Commission c. 2013). The 1958 General Highway Map of Tarrant County (revised 1961) shows the northeast portion of the I-820 loop under construction, with the northern terminus in the study area at SH 183 near the convergence of the Fort Worth, Richland Hills, and Hurst city limits (Texas State Highway Department 1958). The northeast portion was completed in 1966, and historic aerial images show that the I-820 / SH 121 interchange was constructed at the same time or shortly after (TxDOT c. 2016; NETR 2017).

Automobile-oriented businesses, such as lodging, restaurants, and service stations, soon lined the country's new highways to service travelers (Texas Historical Commission c. 2013). In the study area, a 1966 Holiday Inn motel (**Resource 3**, now America's Best Value Inn) was one of the earliest roadside businesses erected along the I-820/SH 121 interchange (NETR 2017). Holiday Inn, established in 1952, quickly became the largest chain of hotels and motels in the U.S. by capitalizing on the country's new system of highways (Jakle et al. 1996). By 1968 there were 1,000 locations across the country, primarily located outside city centers on major highways (Jakle et al. 1996). Each location typically had an over-scaled, neon, roadside sign designed to catch the driver's attention, and the motels provided travelers a convenient, comfortable, affordable, and modern stay (Luckerson 2012). The brand is recognized as having revolutionized the motel/hotel industry in the postwar years, transforming it from a collection of independently run properties to a standardized system of roadside franchises offering consumers certainty in price, quality, and amenities (Jakle et al. 1996).

National Registry of Eligibility Recommendations

▪ Eligible Properties/Districts

None of the documented resources are recommended eligible for the National Register of Historic Places as a result of the survey.

▪ Ineligible Properties/Districts

Domestic Properties

- Constructed in 1955 and 1956, **Resources 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, and 1K** are Minimal Ranch single-family residences with few distinguishing characteristics and no architectural style. Each resource is a modest example of a house with the Ranch form when compared to similar houses with this form in the area and in Texas. Common alterations included replacement windows, doors, and siding; additions; and the enclosure of garages. No associations were identified linking these resources to persons or events of historic importance. Furthermore, the resources do not embody distinctive characteristics of a type, period, or method of construction. They do not represent the work of a master or possess high artistic value. They do not have potential to reveal important information. As a result, they are recommended not eligible for inclusion in the NRHP under Criteria A, B, C, or D. (Note: these resources were evaluated for eligibility as part of a potential historic district in the Mid-Twentieth Century Subdivisions section below.)

- **Resource 3** is a motel constructed in 1966 at the intersection of I-820 and SH 121. It has a two-story L-shaped wing of rooms with exterior entries, and a lobby building, which is set within the L at an angle, is connected to the rooms via a covered walkway with mushroom supports. The walkway extends to the south over the driveway, becoming a porte cochere. There is a central courtyard with a pool, and a parking lot surrounds the complex. It is currently in operation as America's Best Value Inn; however, it exhibits typical characteristics of a 1960s Holiday Inn. Google Streetview imagery of **Resource 3** prior to its recent alterations is presented in **Appendix E** along with historic postcard images of postwar Holiday Inns of a similar design with the distinctive covered walkway connecting the lobby and rooms. CMEC historians referenced TxDOT's *Historic-Age Motels in Texas from the 1950s to the 1970s: An Annotated Guide to Selected Studies* for guidance on surveying and evaluating the motel's NRHP eligibility (Newlan and Caffee 2011).

Resource 3 originally had a glassy expanse of floor-to-ceiling motel room windows, which have been replaced with smaller windows and stucco-clad walls (see **Appendix E** for a Streetview image of the building prior to this alteration). The balcony rails and doors have also been replaced, a parapet was added to the roof, and an addition to the east façade of the office has been constructed. Historic aerials show that a roadside sign was once present and has been removed, and the original Holiday Inn marquee is no longer extant. Overall, the building no longer retains its postwar modern design or evidence of the Holiday Inn brand.

Though motels are a distinctive type of post-World War II roadside architecture, this resource no longer retains integrity of design, materials, workmanship, or feeling due to non-historic-age modifications. It is therefore not eligible for inclusion in the NRHP under Criterion C. Although this resource was associated with the Holiday Inn chain and a new transportation corridor, it is a ubiquitous example of a motel and no longer retains integrity, and it is therefore not eligible under Criterion A. No associations were identified linking the resource to a person or persons of historic importance, and it does not have potential to reveal important information. As a result, it is also recommended not eligible for inclusion in the NRHP under Criteria B and D.

- Constructed in 1968, **Resource 4** is an apartment complex with multiple multi-unit residential buildings arranged around a series of parking lots and grassy spaces. An office/community building is located at the center of the complex next to a pool. The buildings have been altered with non-historic-age window and cladding replacements. No associations were identified linking this resource to persons or events of historic importance. Furthermore, the resource does not embody distinctive characteristics of a type, period, or method of construction. It

does not represent the work of a master or possess high artistic value. It does not have potential to reveal important information. As a result, they are recommended not eligible for inclusion in the NRHP under Criteria A, B, C, or D.

Commercial Properties

- **Resource 2** is an automobile repair building. The resource was originally two separate buildings constructed in 1964 and 1965, but the buildings were connected via a c. 1979 addition. This resource is a common example of a commercial property and does not embody distinctive characteristics of a type, period, or method of construction; represent the work of a master; or possess high artistic value. Based on the historic context, no associations were identified linking the property to persons or events of historic importance. It does not have potential to reveal important information. As a result, it is recommended not eligible for inclusion in the NRHP under Criteria A, B, C, or D.
- **Resources 5 and 6** are professional office buildings constructed in 1971 and c. 1970 respectively. They are one-story brick buildings with no particular style. The resources do not embody distinctive characteristics of a type, period, or method of construction. They do not represent the work of a master or possess high artistic value. No associations were identified linking these resources to persons or events of historic importance, and they do not have potential to reveal important information. As a result, they are recommended not eligible for inclusion in the NRHP under Criteria A, B, C, or D.

Mid-Twentieth-Century Subdivisions

- At the western end of the project area, north of SH 121 and west of I-820, is **Resource 1A-K**, a mid-twentieth century subdivision named Richland Park Annex. The subdivision is a small, 39-parcel, two-block tract located on Gumwood Park, a street which intersects with the SH 121 frontage road to the south and then curves at its northern end to intersect with Handley Ederville Road.

CMEC historians applied TxDOT's draft *Documentation Standard for Mid-Twentieth Century Developments in a Historical Studies Report and Survey Methodology for Mid-Twentieth Century Subdivisions* (hereinafter referred to as the Methodology) in documenting and evaluating the neighborhood (TxDOT 2014a, 2014b). According to the Methodology, there are two types of subdivisions, the picturesque subdivision and the technocracy subdivision, with most subdivisions being a combination of factors of both. The picturesque subdivision is one that is a planned development that includes community parks and recreation and is in close proximity to schools, churches, and commercial buildings. The picturesque subdivision was completed within 5 to 10 years of breaking ground, and there is an overall pattern to the roads and their directional flow. With a technocracy subdivision, which dates primarily to the mid-twentieth

century, the primary characteristic is a focus on creating a roadway network to safely and efficiently move vehicles. According to the Methodology, for a subdivision to be eligible for NRHP listing, it must have the following character-defining features:

- Development of the subdivision based on uniformity with no significant breaks in street patterns
- A unified pattern of the development where the majority of the development is built within 5–10 years
- Uniformity of setbacks, side yards, house sizes, and lot sizes
- Wide streets within an auto-oriented hierarchy of streets and lack of sidewalks and bike paths outside of parks
- Community-related buildings/areas that were designed before or shortly after the subdivision was platted (e.g., schools, parks, churches, shopping centers, etc.)

In applying the Methodology to the Richland Park Annex to determine if it is eligible for NRHP listing, the subdivision does not rise to the level necessary to convey significance as a mid-twentieth-century subdivision. Richland Park Annex consists of one-story, Minimal Ranch tract houses built between 1955 and 1959, with infill development from the 1980s (see **Figure 4** in **Appendix C**). The sizes of lots, setbacks, and side yards are uniform, and houses are nearly identical in plan. Because the subdivision is one street with just two blocks, there is no hierarchy of streets. The street design is no longer intact because the southern road alignment changed to accommodate the SH 121 frontage road in the 1960s, and more recently, traffic barricades were placed at the intersection of Gumwood Park and Handley Ederville Road which changed the flow of traffic. Additionally, a 1955 or 1956 residence at the southwestern boundary of the neighborhood was demolished in the 1960s to make way for the SH 121 frontage road. Landscape elements and community-related resources such as schools, parks, and churches were not incorporated into the design of the development.

No associations with important events were identified; thus, the neighborhood is not eligible for the NRHP as a district under Criterion A. County records indicate that the subdivision was developed by Ed L. Baker, a former Fort Worth City Councilman, who, under various companies and in collaboration with family members, was a prolific developer of the area. Per the National Park Service's *Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places*, Criterion B may be applied to neighborhoods that best represent an important developer's contributions to

significant local or metropolitan patterns of suburbanization; Richland Park Annex is not a representative, notable, or early example of Baker's work and does not illustrate his significance as a developer (Ames and McClelland 2002). Most of his subdivisions are larger in scale with an auto-oriented hierarchy of streets and community-related amenities. The neighborhood is not eligible for the NRHP as a district under Criterion B. The houses in the neighborhood are also modest and common examples of the Ranch form and no evidence was found to suggest that they were designed by notable architects. Further, the spatial arrangement of the neighborhood is not notable; thus, Richland Park Annex is not eligible as a district under Criterion C. The subdivisions are not likely to yield important information about vernacular house types, yard design, or gardening practices, and are therefore not eligible under Criterion D. Furthermore, most of the houses in the subdivision have lost integrity due to incompatible non-historic-age modifications. For these reasons, Richland Park Annex does not reflect the totality of design needed to convey historic significance as a mid-twentieth-century subdivision, and it is recommended not eligible for NRHP listing.

- **Recommendations for Further Study**

No further work is recommended.

Determination of Section 106 Effects Recommendations

- **Direct Effects**

None. In accordance with 36 CFR 60 and 36 CFR 800.11, the criteria of effect were not applied because there are no properties within the APE that are eligible for NRHP listing.

- **Indirect, Cumulative or Reasonable Foreseeable Effects**

None (see Direct Effects).

U.S. DOT Section 4(f) Applicability Statement

Not applicable. Because there are no properties within the APE that are eligible for NRHP listing, the U.S. Department of Transportation Act Section 4(f) regulations (23 CFR 774) pertaining to historic sites are not applicable to this project.

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Appendix A: Tabular Inventory of Surveyed Properties

Tabular Inventory of Surveyed Properties

Resource No.	Address / Location	Function / Sub-function	Form / Type	Architectural Style	Date(s)	Integrity / Comments	NRHP Eligibility
1A-K	Gumwood Park Dr, Richland Hills, TX 76118	Domestic/Mid-20th Century Neighborhood	Ranch	No style	1955-1959	Location; Setting; Feeling; Association	Not eligible
1A	2821 Gumwood Park Dr, Richland Hills, TX 76118; 32.802214, -97.221969	Domestic/Single Dwelling	Ranch	No style	1955	Location; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1A2	2821 Gumwood Park Dr, Richland Hills, TX 76118; 32.802244, -97.222218	Domestic/Secondary Structure	Rectangular	No style	c.1985	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1B	2817 Gumwood Park Dr, Richland Hills, TX 76118; 32.80204, -97.221971	Domestic/Single Dwelling	Ranch	No style	1955	Location; Setting; Feeling; Association	Not eligible
1B2	2817 Gumwood Park Dr, Richland Hills, TX 76118; 32.801984, -97.22222	Domestic/Secondary Structure	Rectangular	No style	c.1985	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1B3	2817 Gumwood Park Dr, Richland Hills, TX 76118; 32.802073, -97.222224	Domestic/Secondary Structure	Rectangular	No style	c.2015	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1C	2813 Gumwood Park Dr, Richland Hills, TX 76118; 32.801887, -97.221973	Domestic/Single Dwelling	Ranch	No style	1956	Location; Setting; Feeling; Association	Not eligible
1C2	2813 Gumwood Park Dr, Richland Hills, TX 76118; 32.801827, -97.22221	Domestic/Secondary Structure	Rectangular	No style	c.1985	Location; Design; Setting; Workmanship; Feeling; Association	Not eligible
1C3	2813 Gumwood Park Dr, Richland Hills, TX 76118; 32.801907, -97.22214	Domestic/Secondary Structure	Rectangular	No style	c.1992	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1D	2809 Gumwood Park Dr, Richland Hills, TX 76118; 32.80171, -97.221983	Domestic/Single Dwelling	Ranch	No style	1956	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1D2	2809 Gumwood Park Dr, Richland Hills, TX 76118; 32.80176, -97.222222	Domestic/Secondary Structure	Rectangular	No style	c.2000	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1E	2805 Gumwood Park Dr, Richland Hills, TX 76118; 32.801541, -97.221998	Domestic/Single Dwelling	Ranch	No style	1956	Location; Setting; Feeling; Association	Not eligible
1E2	2805 Gumwood Park Dr, Richland Hills, TX 76118; 32.801526, -97.222204	Domestic/Secondary Structure	Rectangular	No style	c.1980	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1E3	2805 Gumwood Park Dr, Richland Hills, TX 76118; 32.801615, -97.222204	Domestic/Secondary Structure	Rectangular	No style	c.1980	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1F	2828 Gumwood Park Dr, Richland Hills, TX 76118; 32.802536, -97.221556	Domestic/Single Dwelling	Ranch	No style	1955	Location; Setting; Feeling; Association	Not eligible

Tabular Inventory of Surveyed Properties (cont'd)

Resource No.	Address / Location	Function / Sub-function	Form / Type	Architectural Style	Date(s)	Integrity / Comments	NRHP Eligibility
1F2	2828 Gumwood Park Dr, Richland Hills, TX 76118; 32.802609, -97.221409	Domestic/Secondary Structure	Rectangular	No style	c.1975	Location; Design; Setting; Workmanship; Feeling; Association	Not eligible
1F3	2828 Gumwood Park Dr, Richland Hills, TX 76118; 32.802506, -97.221415	Domestic/Secondary Structure	Rectangular	No style	c.1975	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1G	2824 Gumwood Park Dr, Richland Hills, TX 76118; 32.802362, -97.221562	Domestic/Single Dwelling	Ranch	No style	1955	Location; Setting; Feeling; Association	Not eligible
1G2	2824 Gumwood Park Dr, Richland Hills, TX 76118; 32.802321, -97.221383	Domestic/Secondary Structure	Rectangular	No style	c.1975	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1H	2820 Gumwood Park Dr, Richland Hills, TX 76118; 32.802196, -97.221557	Domestic/Single Dwelling	Ranch	No style	1956	Location; Setting; Feeling; Association	Not eligible
1H2	2820 Gumwood Park Dr, Richland Hills, TX 76118; 32.802157, -97.221376	Domestic/Secondary Structure	Rectangular	No style	c.1985	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1I	2816 Gumwood Park Dr, Richland Hills, TX 76118; 32.802048, -97.221564	Domestic/Single Dwelling	Ranch	No style	1956	Location; Design; Setting; Feeling; Association	Not eligible
1J	2812 Gumwood Park Dr, Richland Hills, TX 76118; 32.801872, -97.221554	Domestic/Single Dwelling	Ranch	No style	1956	Location; Setting; Feeling; Association	Not eligible
1J2	2812 Gumwood Park Dr, Richland Hills, TX 76118; 32.801951, -97.221335	Domestic/Secondary Structure	Rectangular	No style	c.2001	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
1K	2808 Gumwood Park Dr, Richland Hills, TX 76118; 32.801715, -97.221566	Domestic/Single Dwelling	Ranch	No style	1956	Location; Setting; Feeling; Association	Not eligible
2	118 S Booth Calloway Rd, Hurst, TX 76053; 32.80821, -97.212003	Commerce/Business	Irregular	No style	1964	Location; Setting; Materials; Workmanship; Feeling; Association	Not eligible
3	125 NE 820 Loop, Hurst, TX 76053; 32.810998, -97.210938	Domestic/Motel	L-plan	No style	1966	Location; Setting; Association	Not eligible
4	200 Booth Calloway Rd, Hurst, TX 76053; 32.811996, -97.211083	Domestic/Multiple Dwelling	Rectangular	No style	1968	Location; Design; Setting; Feeling; Association	Not eligible
5	227 NE 820 Loop, Hurst, TX 76053; 32.81237, -97.209563	Commerce/Professional	Rectangular	No style	1971	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible
6	231 NE 820 Loop, Hurst, TX 76053; 32.812703, -97.209433	Commerce/Professional	Rectangular	No style	c.1970	Location; Design; Setting; Materials; Workmanship; Feeling; Association	Not eligible

Appendix B: Survey Forms for All Surveyed Properties

Resource ID: 1A-K**Year Built Range:** 1955 to 1959**Year Source:** CAD**Address:** Gumwood Park Dr, Richland Hills, TX 76118**County:** Tarrant**Name:** Richland Park Annex**NRHP Eligible as a Historic District?** No**Effect:** N/A

Overview showing the Richland Park Annex designated with a green box. Image courtesy of Google.

Comments

Richland Park Annex consists of one-story, Minimal Ranch tract houses built from 1955 to 1959, with infill development from the 1980s. The sizes of lots, setbacks, and side yards are uniform and houses are nearly identical in plan. Because the subdivision is one street with just two blocks, there is no hierarchy of streets; further, the street design is no longer intact due to the placement of traffic barricades at the intersection of Gumwood Park and Handley Ederville Road, and because the southern boundary of the neighborhood was changed to accommodate the SH 121 frontage road in the 1960s. Landscape elements and community-related resources such as schools, parks, and churches were not incorporated into the development. County records indicate that Richland Park Annex was developed by Ed L. Baker, a prolific postwar developer of the area; however, this neighborhood is not a representative, notable, or early example of his work. (Resources 1A-K were evaluated individually in separate records.)

Overall Integrity of Complex Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

The Richland Park Annex, developed from 1955 to 1959, was evaluated for its potential as a NRHP-eligible mid-twentieth century subdivision. When applying TxDOT's draft *Survey Methodology for Mid-twentieth Century Subdivisions*, this subdivision was not found to possess sufficient significance for listing in the NRHP. Though the subdivision is associated with Ed L. Baker, it does not illustrate his significance as a developer. No associations with important events were identified. As a group, the resources in this neighborhood do not embody distinctive characteristics of a type, period of method of construction. The houses are modest, common examples of the Ranch form, and no evidence was found that they were designed by notable architects. There is no indication that the neighborhood has the potential to reveal important information. Furthermore, most of the houses in the subdivision have lost integrity due to incompatible non-historic-age modifications, and the neighborhood design is no longer intact. For these reasons, Richland Park Annex does not reflect the totality of design needed to convey historic significance as a mid-twentieth-century subdivision, and it is recommended not eligible for NRHP listing under Criterion A, B, C, or D.

Resource ID: 1A-K

Address: Gumwood Park Dr, Richland Hills, TX 76118

Streetscape; view facing northwest



Streetscape; view facing northeast



Resource ID: 1A**Parcel ID:** 02373378**Year Built:** 1955**Year Source:** CAD**Address:** 2821 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802214**Longitude:** -97.221969**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/ 2017Elevation; view
facing west**Description**

Type: Building	Wall cladding: wood vertical board wood shingles wood siding	Roof type: gable, side	Alterations: Addition to rear/side elevation
Style: No style			
Form: Ranch	Porch: partial-width	Roof cladding: composition shingle	

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design has been diminished due to non-historic-age additions. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1A

Parcel ID: 02373378 Address: 2821 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

View facing southwest



Resource ID: 1A2**Parcel ID:** 02373378**Year Built:** c.1985**Year Source:** visual estimate/aerial images**Address:** 2821 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802244**Longitude:** -97.222218**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: N/A

Red circle indicates Resource 1A2; image courtesy of Bing

Description

Type: Building	Wall cladding: unknown	Roof type: gable	Alterations: Unknown/not visible
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: composition shingle	

Comments

Shed. Lack of right-of-entry and an obscuring fence prevented surveyors from obtaining photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

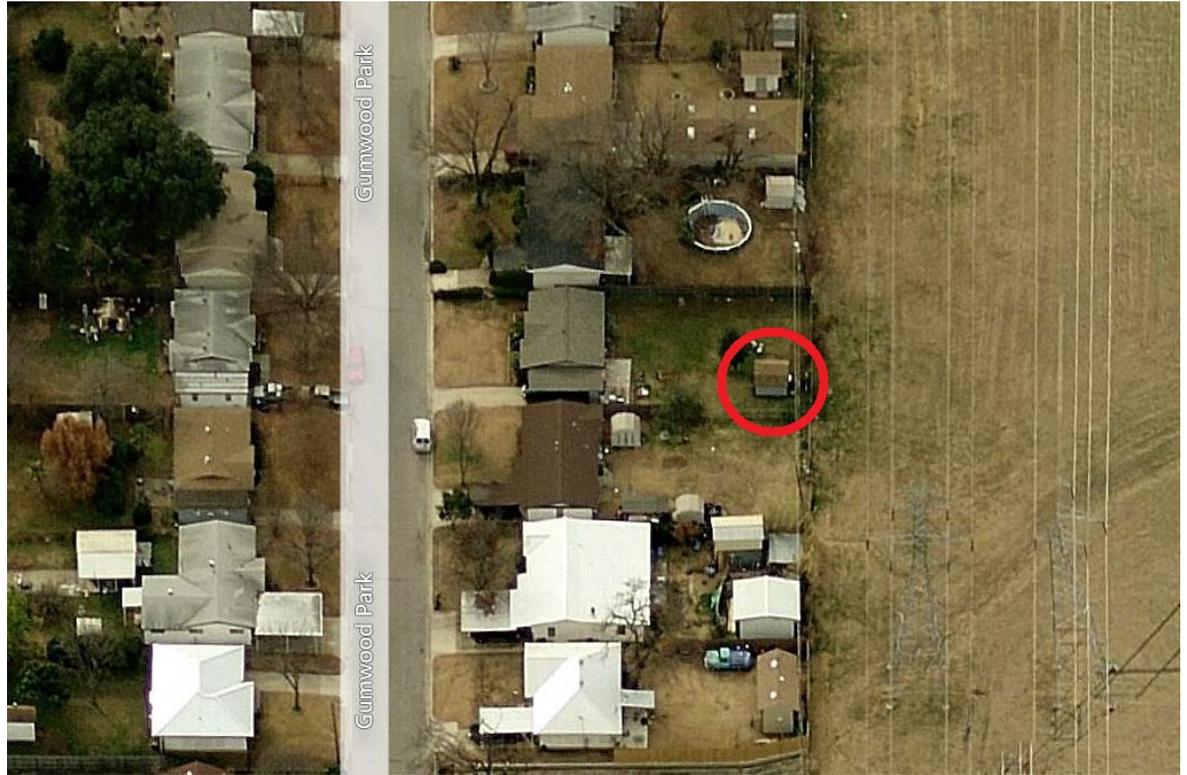
NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1A2

Parcel ID: 02373378 **Address:** 2821 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1A2; image
courtesy of Bing



Resource ID: 1B**Parcel ID:** 02373386**Year Built:** 1955**Year Source:** CAD**Address:** 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.80204**Longitude:** -97.221971**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing southwest**Description**

Type: Building	Wall cladding: vinyl siding	Roof type: gable, side	Alterations: Garage altered or enclosed Wall cladding replaced Decorative elements added Carport added
Style: No style			
Form: Ranch	Porch: stoop	Roof cladding: composition shingle	

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1B

Parcel ID: 02373386 **Address:** 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing west



Resource ID: 1B2**Parcel ID:** 02373386**Year Built:** c.1985**Year Source:** visual estimate/aerial images**Address:** 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801984**Longitude:** -97.22222**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Resource 1B2 behind fence; view facing northwest

Description

Type: Building	Wall cladding: metal	Roof type: gable, front	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Shed. Lack of right-of-entry and an obscuring fence prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

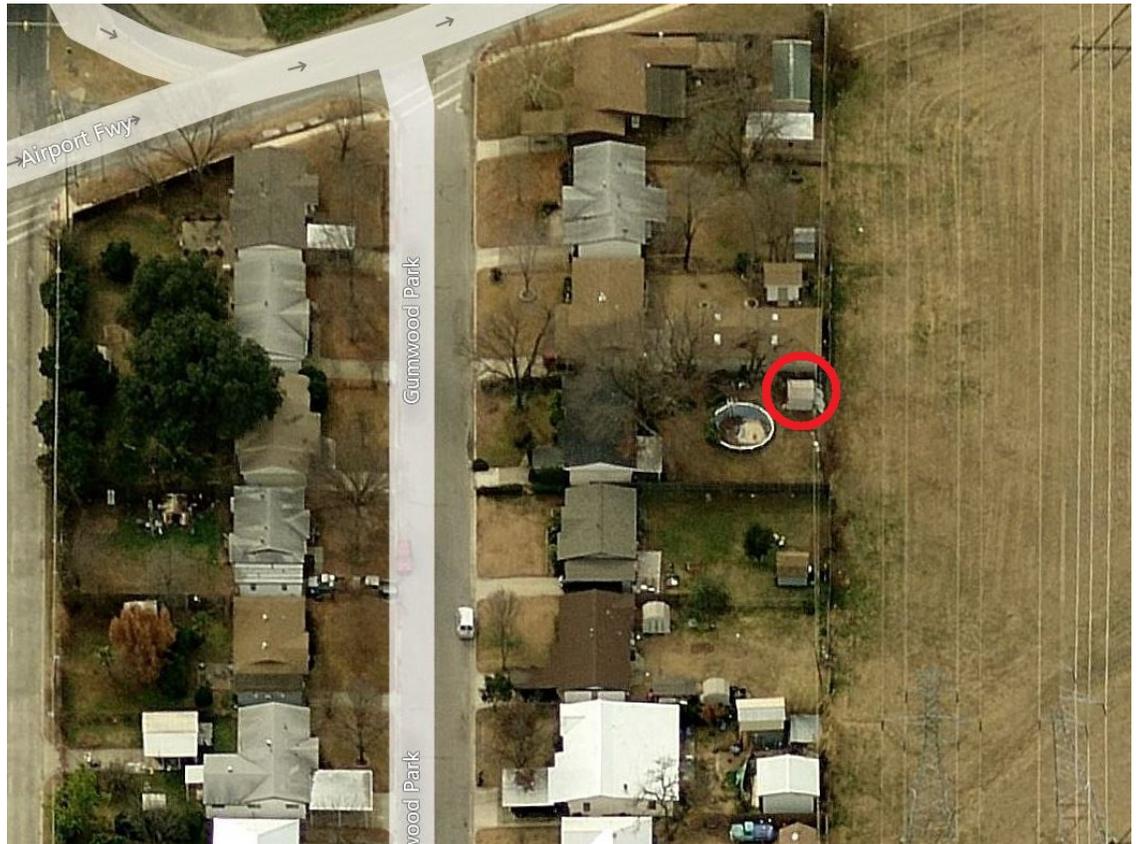
NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

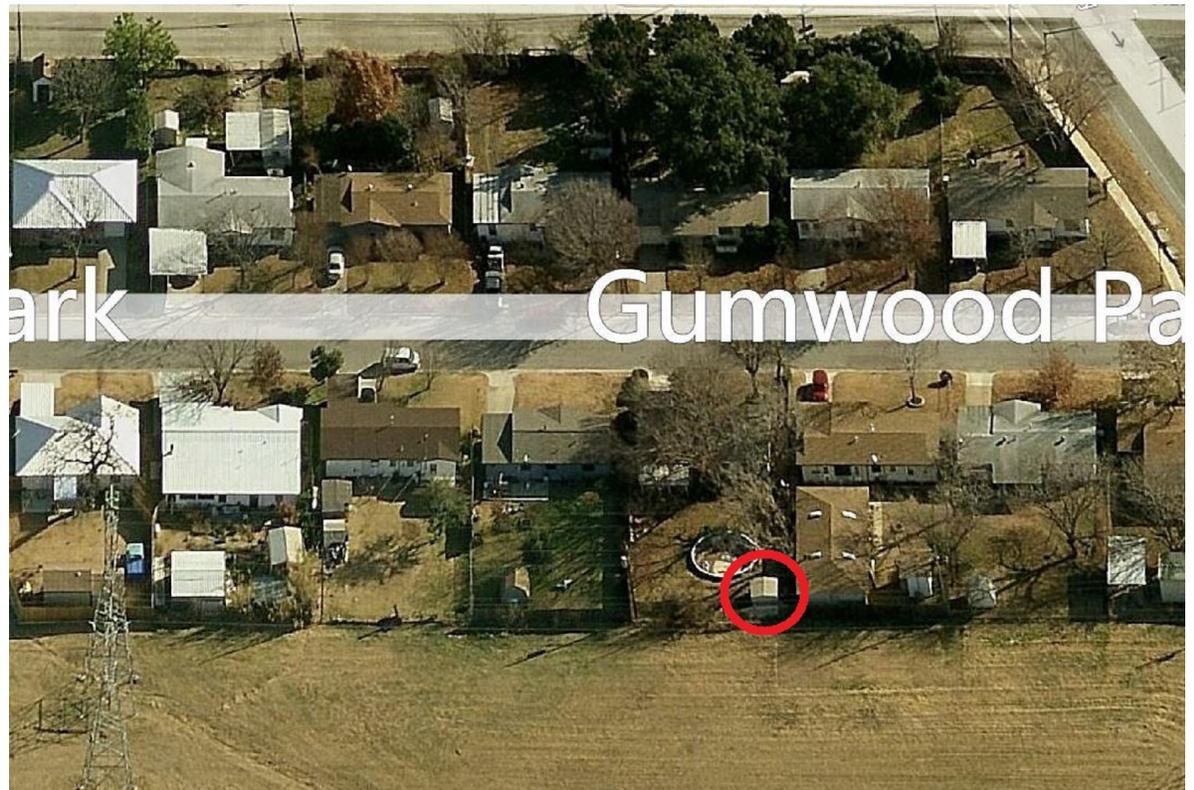
Resource ID: 1B2

Parcel ID: 02373386 Address: 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates Resource 1B2; image courtesy of Bing



Red circle indicates Resource 1B2; image courtesy of Bing



Resource ID: 1B3	Parcel ID: 02373386	Year Built: c.2015	Year Source: visual estimate/aerial images
Address: 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118	County: Tarrant	Latitude: 32.802073	Longitude: -97.222224
Name: None	Indiv. NRHP Eligible? No	Effect: N/A	
Historic Function/Subcategory: Domestic/Secondary Structure	Contributing to NRHP District? N/A		
Current Function/Subcategory: Domestic/Secondary Structure			



Date photos taken: N/A

Red circle indicates Resource 1B3; image courtesy of Google

Description

Type: Building	Wall cladding: unknown	Roof type: gable, crossed	Alterations: Unknown/not visible
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: composition shingle	

Comments

Shed. Lack of right-of-entry and an obscuring fence prevented surveyors from obtaining photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1B3

Parcel ID: 02373386 **Address:** 2817 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1B3; image
courtesy of Google



Resource ID: 1C**Parcel ID:** 02373394**Year Built:** 1956**Year Source:** CAD**Address:** 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801887**Longitude:** -97.221973**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing southwest**Description**

Type: Building	Wall cladding: brick	Roof type: gable-on-hip	Alterations: Garage altered or enclosed
Style: No style	Style: vinyl siding		Windows replaced – all
Form: Ranch	Porch: partial-width integrated	Roof cladding: composition shingle	Door (primary) replaced
			Wall cladding replaced

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1C

Parcel ID: 02373394 Address: 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing west



Oblique; view facing northwest



Resource ID: 1C2**Parcel ID:** 0237339**Year Built:** c.1985**Year Source:** visual estimate/aerial images**Address:** 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801827**Longitude:** -97.22221**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

View facing northwest

Description

Type: Building	Wall cladding: wood, plywood	Roof type: gable	Alterations: Window replaced
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: composition shingle	

Comments

Shed. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1C2

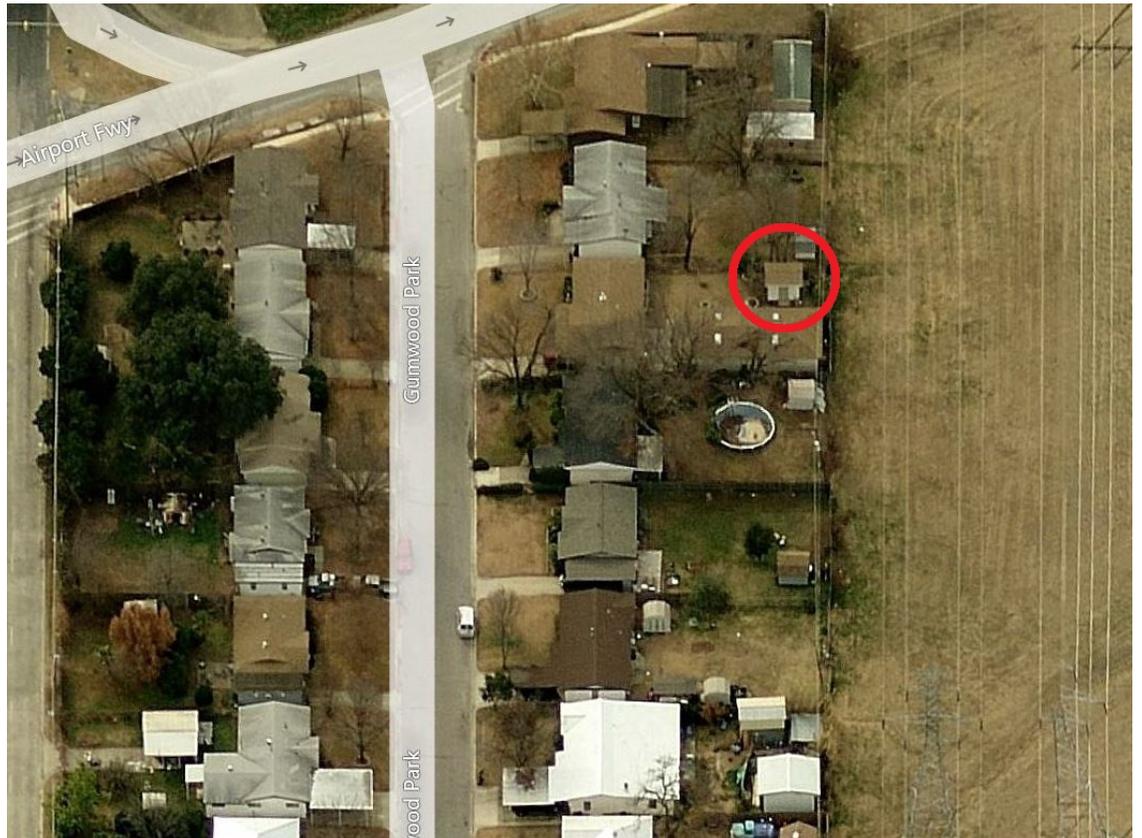
Parcel ID: 0237339

Address: 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Overview of property;
Resource 1C2 at left and
Resource 1C at center; view
facing northwest



Red circle indicates
Resource 1C2; image
courtesy of Bing



Resource ID: 1C3	Parcel ID: 0237339	Year Built: c.1992	Year Source: visual estimate/aerial images
Address: 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118	County: Tarrant	Latitude: 32.801907	Longitude: -97.22214
Name: None	Indiv. NRHP Eligible? No	Effect: N/A	
Historic Function/Subcategory: Domestic/Secondary Structure	Contributing to NRHP District? N/A		
Current Function/Subcategory: Domestic/Secondary Structure			



Date photos taken: 8/17/ 2017

Oblique; Resource 1C3 in background, center; view facing

Description

Type: Building	Wall cladding: unknown/not visible	Roof type: hipped	Alterations: Unknown/not visible
Style: No style			
Form: Rectangular	Porch: none/not visible	Roof cladding: composition shingle	

Comments

Ancillary building at rear of Resource 1C. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1C3

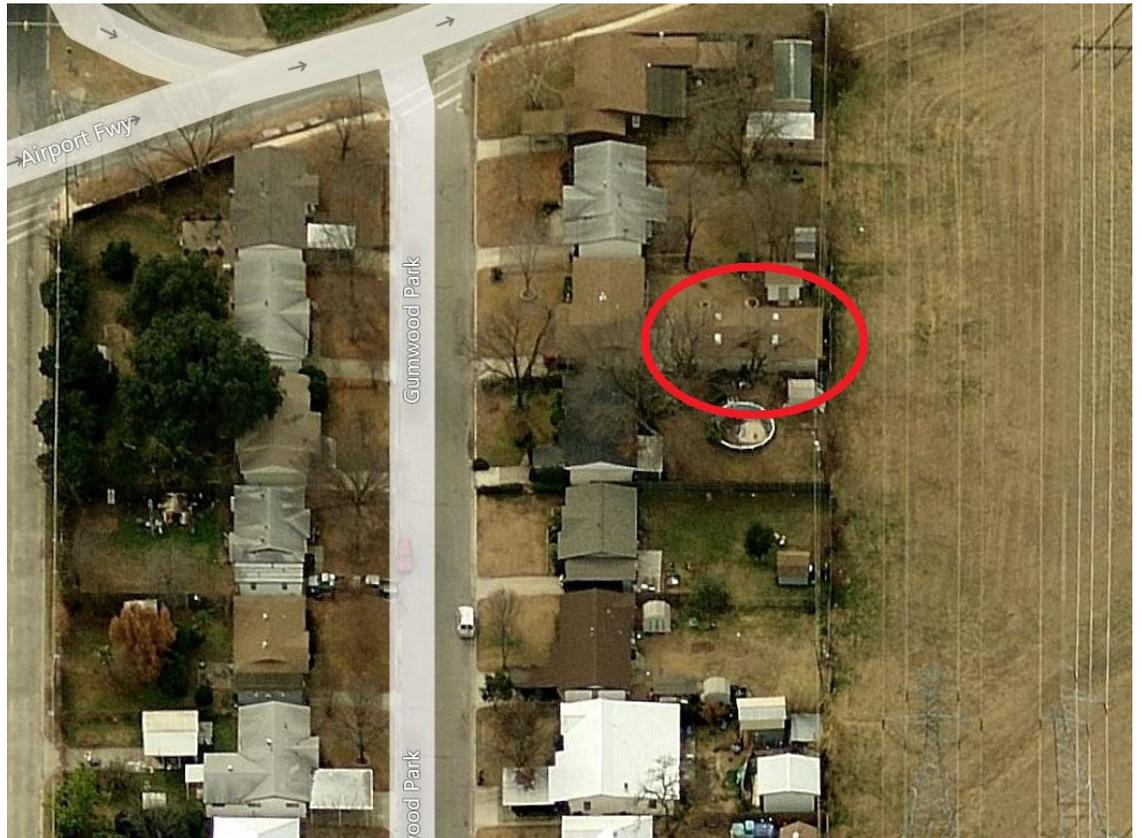
Parcel ID: 0237339

Address: 2813 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates Resource 1C3; image courtesy of Bing



Red circle indicates Resource 1C3; image courtesy of Bing



Resource ID: 1D**Parcel ID:** 02373408**Year Built:** 1956**Year Source:** CAD**Address:** 2809 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.80171**Longitude:** -97.221983**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/ 2017Oblique; view
facing southwest**Description**

Type: Building	Wall cladding: wood siding	Roof type: gable, side	Alterations: Garage door(s) replaced
Style: No style	brick		Brick painted
Form: Ranch	Porch: stoop	Roof cladding: composition shingle	
	wood vertical board		

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1D

Parcel ID: 02373408 Address: 2809 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing west



Oblique; view facing northwest



Resource ID: 1D2**Parcel ID:** 02373408**Year Built:** c.2000**Year Source:** visual estimate/aerial images**Address:** 2809 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.80176**Longitude:** -97.222222**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

View facing southwest

Description

Type: Building	Wall cladding: wood siding panels	Roof type: gambrel	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: composition shingle	

Comments

Shed. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1D2

Parcel ID: 02373408 Address: 2809 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Resource 1D2 in center of photograph; view facing west



Red circle indicates Resource 1D2; image courtesy of Bing



Resource ID: 1E**Parcel ID:** 02373416**Year Built:** 1956**Year Source:** CAD**Address:** 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801541**Longitude:** -97.221998**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Oblique; view facing northwest

Description**Type:**

Building

Wall cladding:

wood siding

Roof type:

gable, side

Alterations:

Wall cladding replaced

Windows replaced – all

Garage door(s) replaced

Carport added

Porch rails altered or removed

Addition to rear/side elevation

Style:

No style

Form:

Ranch

Porch:

stoop

Roof cladding:

composition shingle

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1E

Parcel ID: 02373416 **Address:** 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing west



Resource ID: 1E2**Parcel ID:** 02373416**Year Built:** c.1980**Year Source:** visual estimate/aerial images**Address:** 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801526**Longitude:** -97.222204**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

Oblique; view facing northwest

Description

Type: Building	Wall cladding: metal	Roof type: gable	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Shed. An obscuring fence, dense vegetation, and lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1E2

Parcel ID: 02373416 **Address:** 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1E2; image
courtesy of Bing



Resource ID: 1E3**Parcel ID:** 02373416**Year Built:** c.1980**Year Source:** visual estimate/aerial images**Address:** 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801615**Longitude:** -97.222204**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

Elevation; view facing west

Description

Type: Building	Wall cladding: metal	Roof type: shed	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Canopy. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

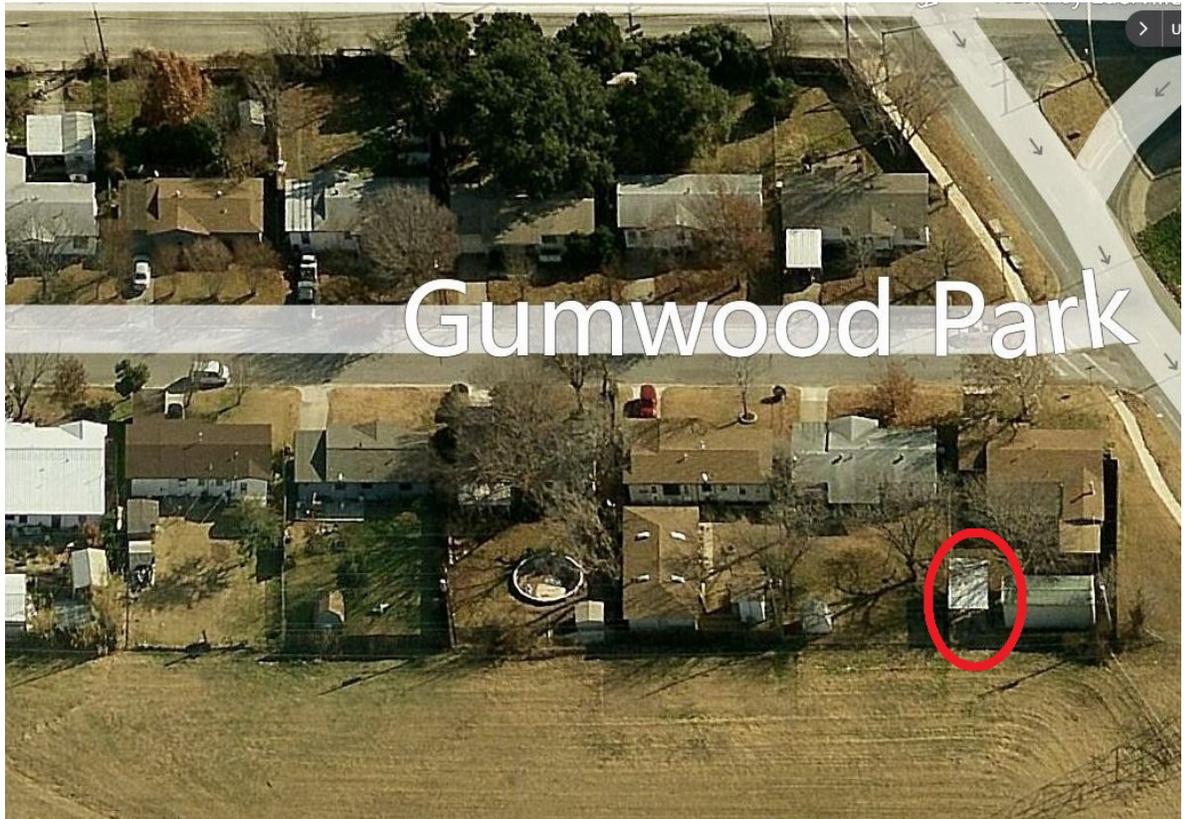
Resource ID: 1E3

Parcel ID: 02373416 Address: 2805 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; overview of Resources A and C; view facing west



Red circle indicates Resource 1E3; image courtesy of Bing



Resource ID: 1F

Parcel ID: 02373653

Year Built: 1955

Year Source: CAD

Address: 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

County: Tarrant

Name: None

Latitude: 32.802536

Longitude: -97.221556

Historic Function/Subcategory: Domestic/Single Dwelling

Indiv. NRHP Eligible? No

Effect: N/A

Current Function/Subcategory: Domestic/Single Dwelling

Contributing to NRHP District?N/A

Date photos
taken: 8/17/2017Oblique; view
facing southeast**Description**

Type: Building	Wall cladding: vinyl siding	Roof type: gable, side	Alterations: Garage altered or enclosed Wall cladding replaced Windows replaced – some Carport added Addition to rear/side elevation
Style: No style			
Form: Ranch	Porch: partial-width projecting	Roof cladding: composition shingle	

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1F

Parcel ID: 02373653 Address: 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Resource ID: 1F2**Parcel ID:** 02373653**Year Built:** c.1975**Year Source:** visual estimate/aerial images**Address:** 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802609**Longitude:** -97.221409**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Oblique; Resource 1F2 behind Resource 1F; view facing southeast

Description

Type: Building	Wall cladding: engineered wood siding	Roof type: gable	Alterations: Wall cladding replaced Windows replaced
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: unknown/not visible	

Comments

Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

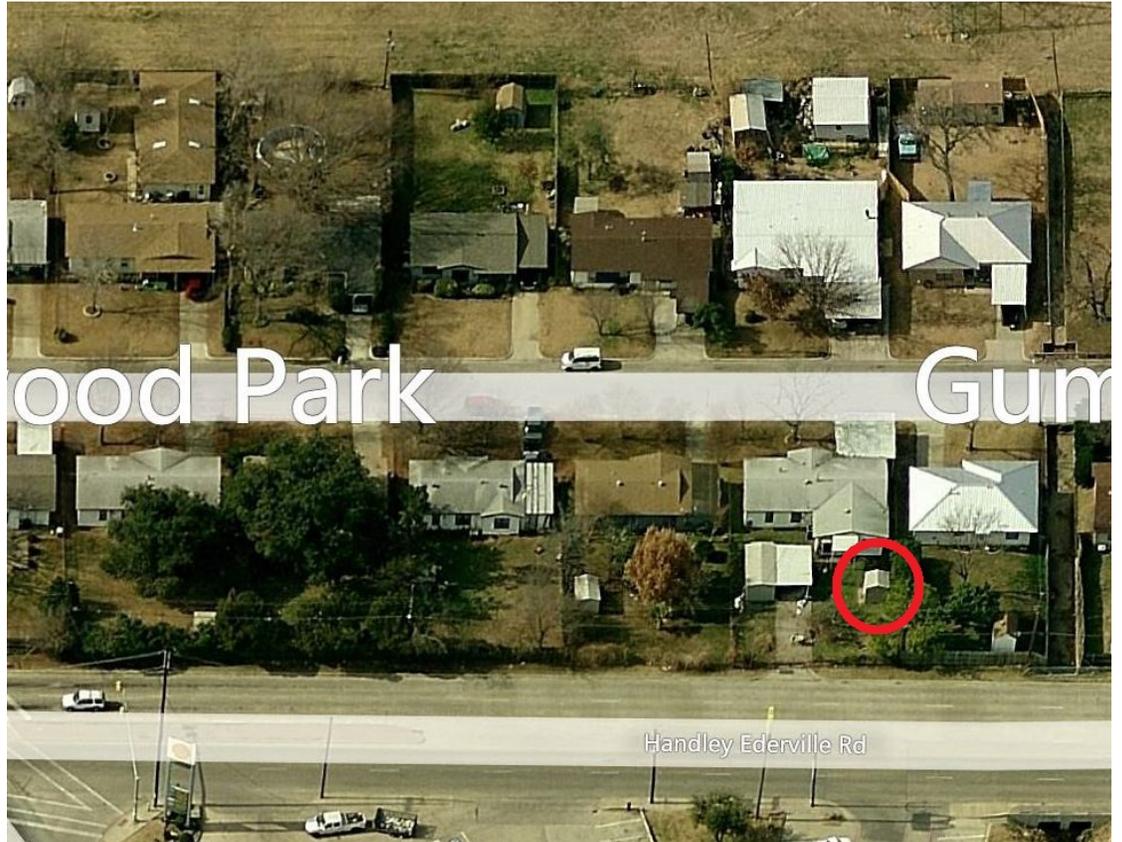
NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1F2

Parcel ID: 02373653 **Address:** 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1F2; image
courtesy of Bing



Resource ID: 1F3**Parcel ID:** 02373653**Year Built:** c.1975**Year Source:** visual estimate/aerial images**Address:** 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802506**Longitude:** -97.221415**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Oblique; Resource 1F3 behind house; view facing northeast

Description

Type: Building	Wall cladding: metal	Roof type: gable	Alterations: Unknown/not visible
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Lack of right-of-entry prevented surveyors from obtaining additional photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

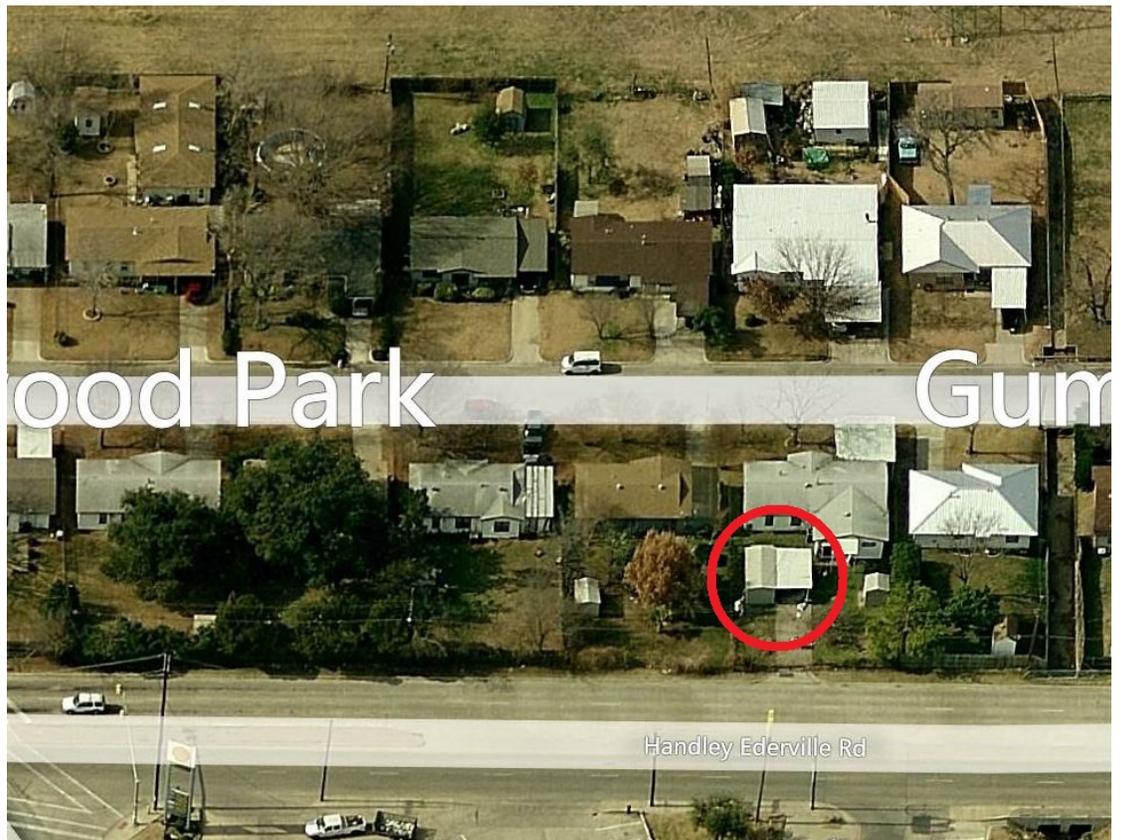
Resource ID: 1F3

Parcel ID: 02373653 Address: 2828 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Resource 1F3 at far right of photograph behind Resource 1F; view facing northeast



Red circle indicates Resource 1F3; image courtesy of Bing



Resource ID: 1G**Parcel ID:** 02373661**Year Built:** 1955**Year Source:** CAD**Address:** 2824 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802362**Longitude:** -97.221562**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/ 2017Oblique; view
facing northeast**Description****Type:**

Building

Wall cladding:

wood siding

Roof type:

gable, side

Alterations:

Garage altered or enclosed

Roof replaced w/ incomp. materials

Style:

No style

Form:

Ranch

Porch:

stoop

Roof cladding:

metal

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1G

Parcel ID: 02373661 **Address:** 2824 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Resource ID: 1G2**Parcel ID:** 02373661**Year Built:** c.1975**Year Source:** visual estimate/aerial images**Address:** 2824 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802321**Longitude:** -97.221383**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Resource 1G2 in background of photo; view facing east/northeast

Description

Type: Building	Wall cladding: wood siding	Roof type: gable	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Shed. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1G2

Parcel ID: 02373661 **Address:** 2824 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1G2; image
courtesy of Bing



Resource ID: 1H**Parcel ID:** 02373688**Year Built:** 1956**Year Source:** CAD**Address:** 2820 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802196**Longitude:** -97.221557**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing northeast**Description****Type:**

Building

Wall cladding:

vinyl siding

Roof type:

gable-on-hip

Alterations:

Wall cladding replaced

Garage altered or enclosed

Windows replaced – all

Style:

No style

Form:

Ranch

Porch:

stoop

Roof cladding:

composition shingle

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1H

Parcel ID: 02373688 **Address:** 2820 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Resource ID: 1H2**Parcel ID:** 02373688**Year Built:** c.1985**Year Source:** visual estimate/aerial images**Address:** 2820 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802157**Longitude:** -97.221376**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

Resource 1H2 located behind fence; view facing east

Description

Type: Building	Wall cladding: unknown	Roof type: gable	Alterations: Unknown/not visible
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Shed. An obscuring fence and lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

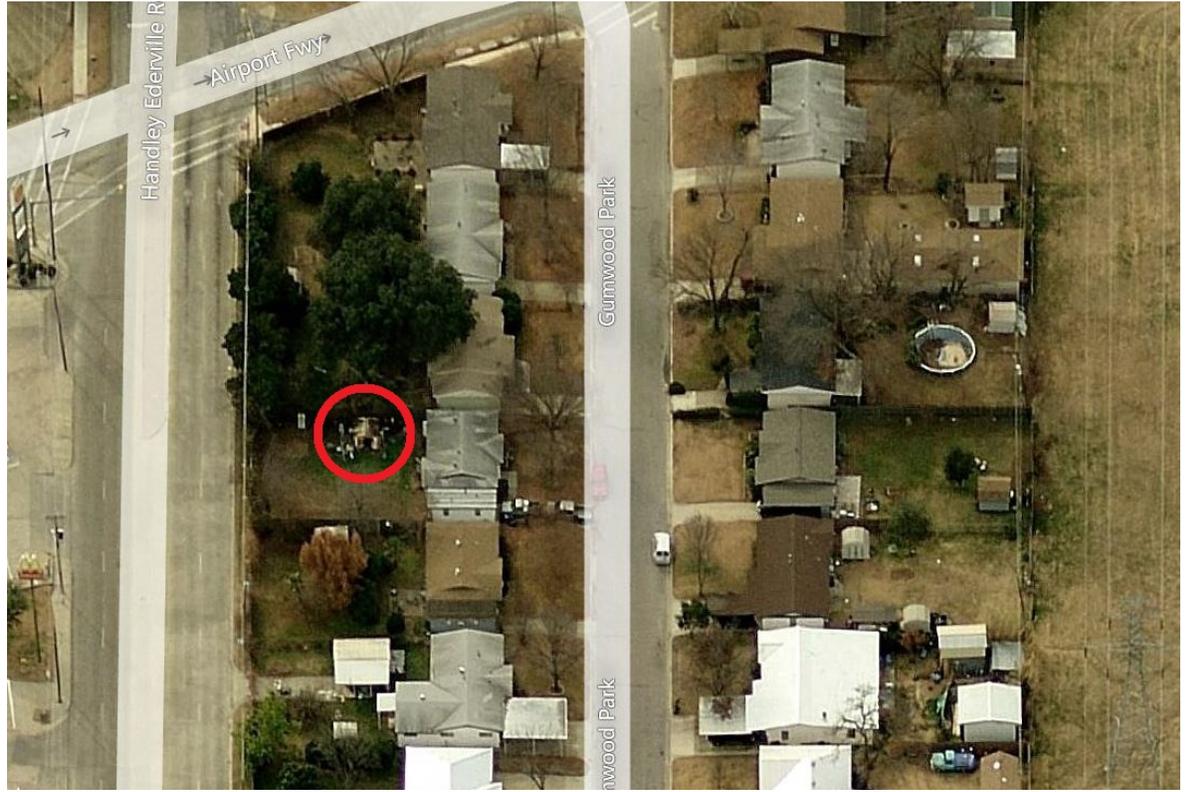
NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

Resource ID: 1H2

Parcel ID: 02373688 **Address:** 2820 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Red circle indicates
Resource 1H2; image
courtesy of Bing



Resource ID: 11**Parcel ID:** 02373696**Year Built:** 1956**Year Source:** CAD**Address:** 2816 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.802048**Longitude:** -97.221564**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing southeast**Description**

Type: Building	Wall cladding: vinyl siding	Roof type: gable, side	Alterations: Some wall cladding replaced
Style: No style	brick		Garage door replaced
Form: Ranch	wood siding panels	Roof cladding: composition shingle	Door (primary) replaced
	Porch: partial-width projecting		Brickwork/stone painted

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of materials and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 11

Parcel ID: 02373696 **Address:** 2816 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Resource ID: 1J**Parcel ID:** 02373718**Year Built:** 1956**Year Source:** CAD**Address:** 2812 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801872**Longitude:** -97.221554**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing northeast**Description**

Type: Building	Wall cladding: vinyl siding	Roof type: gable, side	Alterations: Garage altered or enclosed
Style: No style	Style: brick		Wall cladding replaced
Form: Ranch	Porch: stoop	Roof cladding: composition shingle	Windows replaced – all
			Porch support replaced
			Shutters replaced

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1J

Parcel ID: 02373718 Address: 2812 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Resource ID: 1J2**Parcel ID:** 02373718**Year Built:** c.2001**Year Source:** visual estimate/aerial images**Address:** 2812 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801951**Longitude:** -97.221335**Historic Function/Subcategory:** Domestic/Secondary Structure**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Secondary Structure**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

View facing east

Description

Type: Building	Wall cladding: metal	Roof type: gambrel	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: none	Roof cladding: metal	

Comments

Shed. Lack of right-of-entry prevented surveyors from obtaining more effective photographs of this resource. Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a non-historic-age secondary building on the same parcel as an historic-age resource or resources. It is less than 50 years old and was not found to possess exceptional significance under Criterion Consideration G. As a result, it is recommended not eligible for the NRHP under Criterion A, B, C, or D.

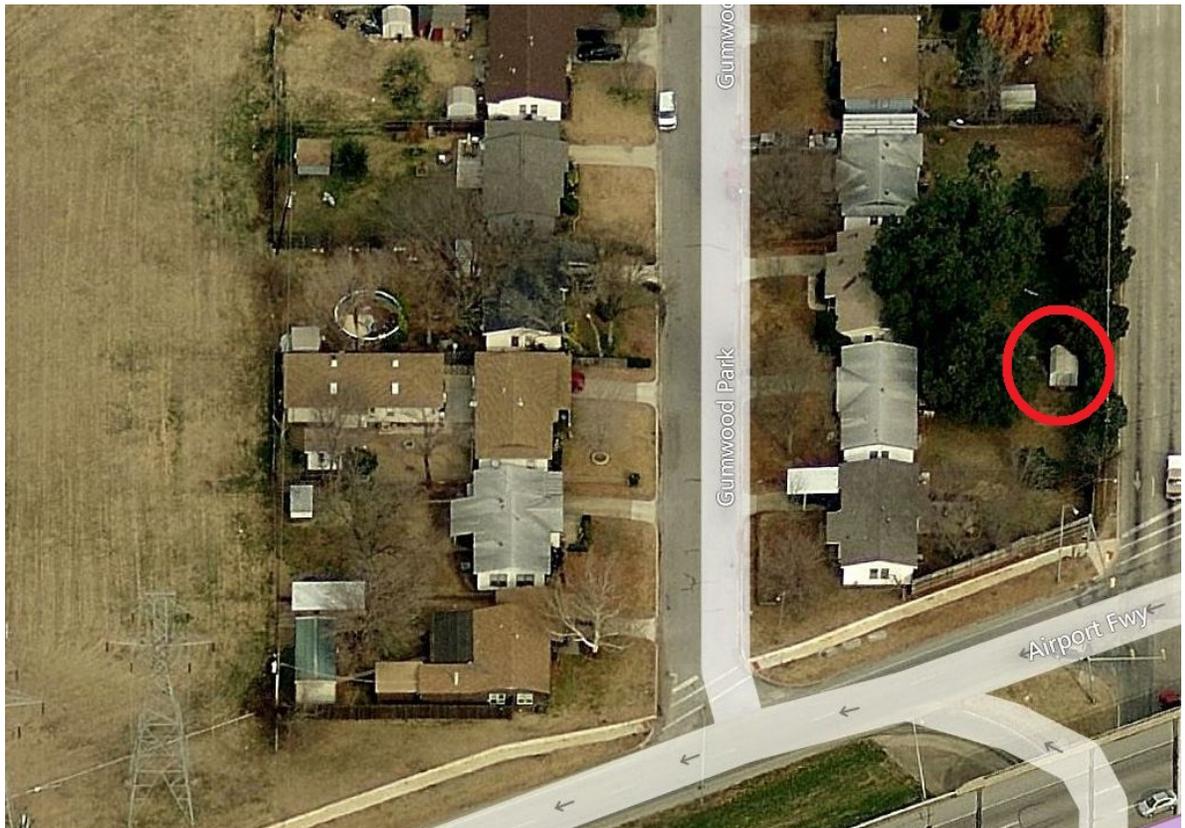
Resource ID: 1J2

Parcel ID: 02373718 Address: 2812 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Overview of property;
Resource 1J2 at left and
Resource 1J at center; view
facing southeast



Red circle indicates
Resource 1J2; image
courtesy of Bing



Resource ID: 1K**Parcel ID:** 02373726**Year Built:** 1956**Year Source:** CAD**Address:** 2808 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118**County:** Tarrant**Name:** None**Latitude:** 32.801715**Longitude:** -97.221566**Historic Function/Subcategory:** Domestic/Single Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Single Dwelling**Contributing to NRHP District?**N/ADate photos
taken: 8/17/2017Oblique; view
facing northeast**Description****Type:**

Building

Wall cladding:

vinyl siding

Roof type:

gable, side

Alterations:

Garage altered or enclosed

Style:

No style

brick

Wall cladding replaced

Windows replaced – all

Form:

Ranch

Porch:

partial-width

Roof cladding:

composition shingle

Carport added

projecting

Comments

Located in the Richland Park Annex, a mid-twentieth century neighborhood. The NRHP justification for this individual resource is provided below; refer to this neighborhood's overview record for an evaluation of the NRHP eligibility of Richland Park Annex as a whole.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of a Ranch house. It is similar to other houses from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby houses. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 1K

Parcel ID: 02373726 Address: 2808 GUMWOOD PARK DR, RICHLAND HILLS, TX 76118

Elevation; view facing east



Oblique; view facing southeast



Resource ID: 2**Parcel ID:** 04328094**Year Built:** 1964**Year Source:** CAD**Address:** 118 S BOOTH CALLOWAY RD, HURST, TX 76053**County:** Tarrant**Name:** Mid-Cities Collision Center**Latitude:** 32.80821**Longitude:** -97.212003**Historic Function/Subcategory:** Commerce/Business**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Commerce/Business**Contributing to NRHP District?**N/A

Date photos taken: 8/17/2017

Oblique; view facing southeast

Description

Type: Building	Wall cladding: stone wood siding panels metal	Roof type: gable, side	Alterations: One window boarded up Garage bay wing of building added
Style: No style			
Form: Irregular	Porch: flush entry	Roof cladding: metal	

Comments

Auto repair business located on parcel 04328094 and 04665627. Per CAD the portion of the building on parcel 04665627 dates to 1964 and the portion of the building on parcel 04328094 (the main portion of the building) dates to 1965. Per aerial review, the two buildings were connected via a c.1979 addition.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of its type. It is similar to other commercial buildings from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby commercial buildings. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 2

Parcel ID: 04328094 Address: 118 S BOOTH CALLOWAY RD, HURST, TX 76053

View facing east



View facing east



Resource ID: 3**Parcel ID:** 00822930**Year Built:** 1966**Year Source:** CAD**Address:** 125 NE 820 LOOP, HURST, TX 76053**County:** Tarrant**Name:** America's Best Value Inn/Holiday Inn**Latitude:** 32.810998**Longitude:** -97.210938**Historic Function/Subcategory:** Domestic/Motel**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Motel**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

Oblique; view facing northeast

Description

Type: Building	Wall cladding: brick	Roof type: flat	Alterations: Windows and doors replaced – all; Floor to ceiling motel room windows resized and stucco walls added; Balcony rails replaced; Decorative elements added; Signage removed; Addition to rear/side elevation; Parapet added
Style: No style	Stucco: stucco		
Form: L-plan	Porch: none	Roof cladding: unknown	

Comments

L-plan motel with angled rectangular lobby building and a courtyard/pool set within the L. Photos were limited due to the presence of people at the site. The resource exhibits typical characteristics of a 1960s Holiday Inn motel with brick wall cladding, separated office building, and covered walkway with mushroom supports. Research did not reveal the date in which the resource was rebranded.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

When the SH 121/I-820 interchange was completed in the 1960s, this resource was one of the first roadside businesses erected in the area. The Holiday Inn company capitalized on the nation's new network of highways and quickly became the largest chain of motels in the country. Though this resource is associated with the new transportation corridor and the post-World War II roadside establishments which serviced travelers, it is a ubiquitous example of a 1960s motel and no longer retains integrity. It is therefore not eligible under Criterion A. No associations were identified linking this resource to persons of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby motels. Most of its distinguishing characteristics have been modified or replaced. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of design, materials, workmanship, and feeling has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 3

Parcel ID: 00822930 Address: 125 NE 820 LOOP, HURST, TX 76053

Oblique; view facing east/southeast



Oblique; view facing southwest; view towards pool area behind large tree



Resource ID: 4**Parcel ID:** 06887031**Year Built:** 1968**Year Source:** CAD**Address:** 200 BOOTH CALLOWAY RD, HURST, TX 76053**County:** Tarrant**Name:** The Pointe on Calloway**Latitude:** 32.811996**Longitude:** -97.211083**Historic Function/Subcategory:** Domestic/Multiple Dwelling**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Domestic/Multiple Dwelling**Contributing to NRHP District?**N/A

Date photos taken: 8/17/ 2017

Oblique; view facing west/southwest

Description

Type: Building	Wall cladding: brick engineered wood siding wood siding panels	Roof type: gable, side	Alterations: Windows replaced – all Some wall cladding replaced
Style: No style			
Form: Rectangular	Porch: partial-width integrated	Roof cladding: composition shingle	

Comments

Multi-building apartment complex with an office/community building and pool. Lack of right-of-entry prevented surveyors from obtaining photos of the primary elevation of the office/community building.

Integrity Location Design Setting Materials Workmanship Feeling Association

NRHP Justification

This resource is a common example of an apartment complex. It is similar to other apartment complexes from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby apartment complexes. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. Furthermore, integrity of materials and workmanship has been diminished due to non-historic-age modifications. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 4

Parcel ID: 06887031 Address: 200 BOOTH CALLOWAY RD, HURST, TX 76053

Elevation of back side of office; view facing south



Oblique; view facing northwest



Resource ID: 5

Parcel ID: 12718386

Year Built: 1971

Year Source: CAD

Address: 227 NE 820 LOOP, HURST, TX 76053

County: Tarrant

Name: None

Latitude: 32.81237

Longitude: -97.209563

Historic Function/Subcategory: Commerce/Professional

Indiv. NRHP Eligible? No

Effect: N/A

Current Function/Subcategory: Commerce/Professional

Contributing to NRHP District?N/A

Date photos
taken: 8/17/ 2017Oblique; view
facing southwest**Description**

Type: Building	Wall cladding: brick	Roof type: flat	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: stoop integrated	Roof cladding: unknown	

Comments

Office building.

Integrity Location Design Setting Materials Workmanship Feeling Association**NRHP Justification**

This resource is a common example of its type. It is similar to other professional buildings from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby professional buildings. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 5

Parcel ID: 12718386 **Address:** 227 NE 820 LOOP, HURST, TX 76053

Elevation; view facing west



Resource ID: 6**Parcel ID:** 04531922**Year Built:** c.1970**Year Source:** Aerial images**Address:** 231 NE 820 LOOP, HURST, TX 76053**County:** Tarrant**Name:** None**Latitude:** 32.812703**Longitude:** -97.209433**Historic Function/Subcategory:** Commerce/Professional**Indiv. NRHP Eligible?** No**Effect:** N/A**Current Function/Subcategory:** Commerce/Professional**Contributing to NRHP District?**N/ADate photos
taken: 8/17/ 2017Oblique; view
facing northwest**Description**

Type: Building	Wall cladding: brick	Roof type: flat	Alterations: Appears to be unaltered
Style: No style			
Form: Rectangular	Porch: partial-width integrated	Roof cladding: unknown	

Comments

Office building.

Integrity Location Design Setting Materials Workmanship Feeling Association**NRHP Justification**

This resource is a common example of its type. It is similar to other professional buildings from this period in Texas, and has no distinguishing characteristics. No associations were identified linking this resource to persons or events of historic importance. The resource does not embody distinctive characteristics of a type, period, or method of construction when compared with other nearby professional buildings. Also, it does not represent the work of a master or possess high artistic value, and it does not have potential to reveal important information. As a result, it is recommended not eligible for inclusion in the NRHP under Criterion A, B, C, or D.

Resource ID: 6

Parcel ID: 04531922 Address: 231 NE 820 LOOP, HURST, TX 76053

Elevation; view facing west



Oblique; overview of Resource 5 (at left) and Resource 6 (at right); view facing southwest



Appendix C: Figures

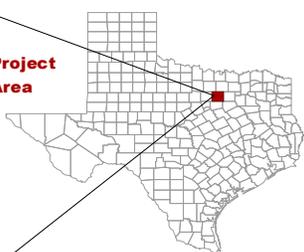


Figure 1
Project Location (Road Base)
 I-820 from SH 121 to Randol Mill Rd

 Project Location



0 0.75 Miles
 0 1 Kilometers

Prepared for: TxDOT	1 in = 0.75 miles
Scale: 1:47,520	Date: 8/25/2017

Basemap Source: ESRI (2017)

CSJ: 0008-13-124

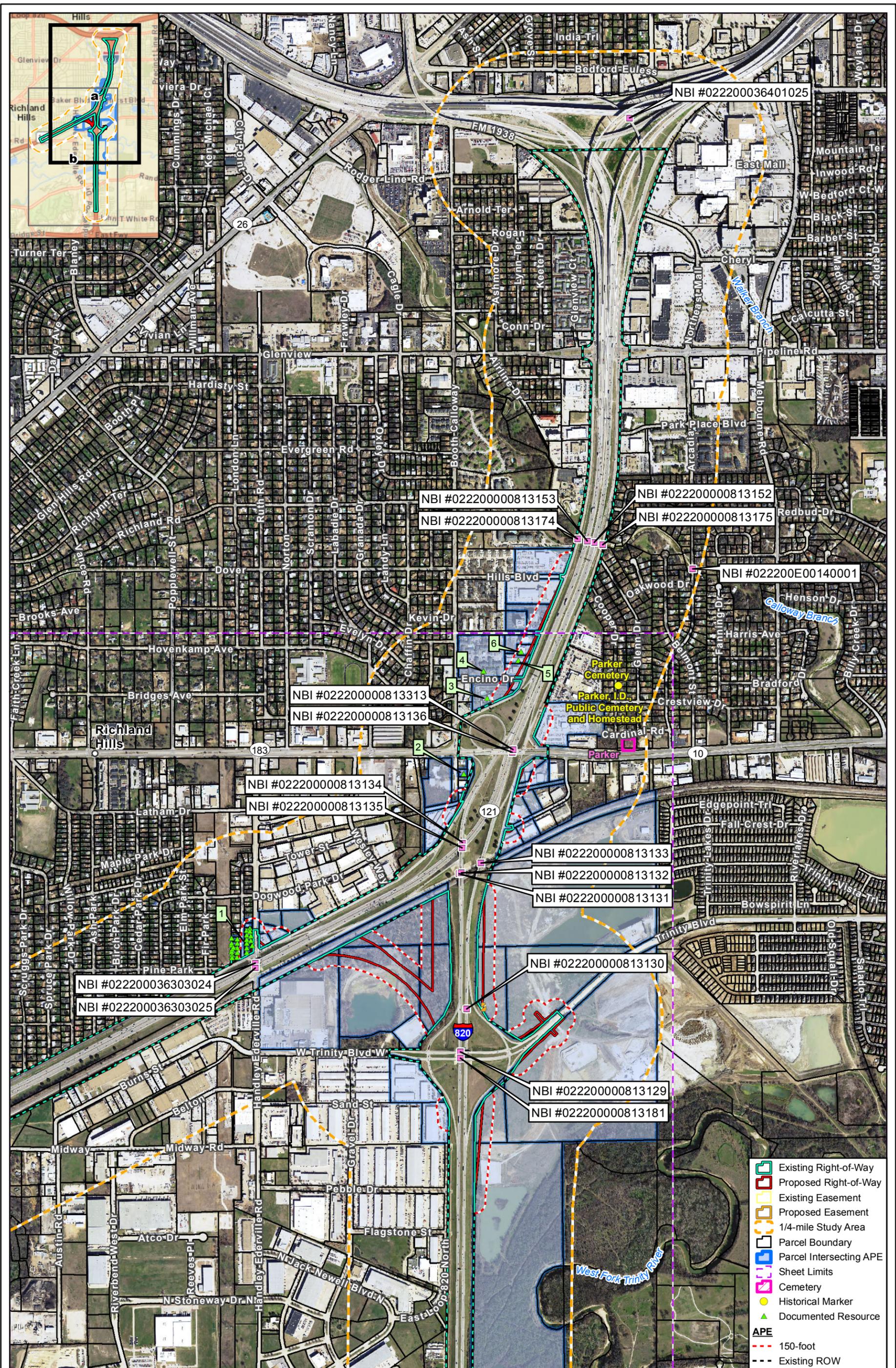
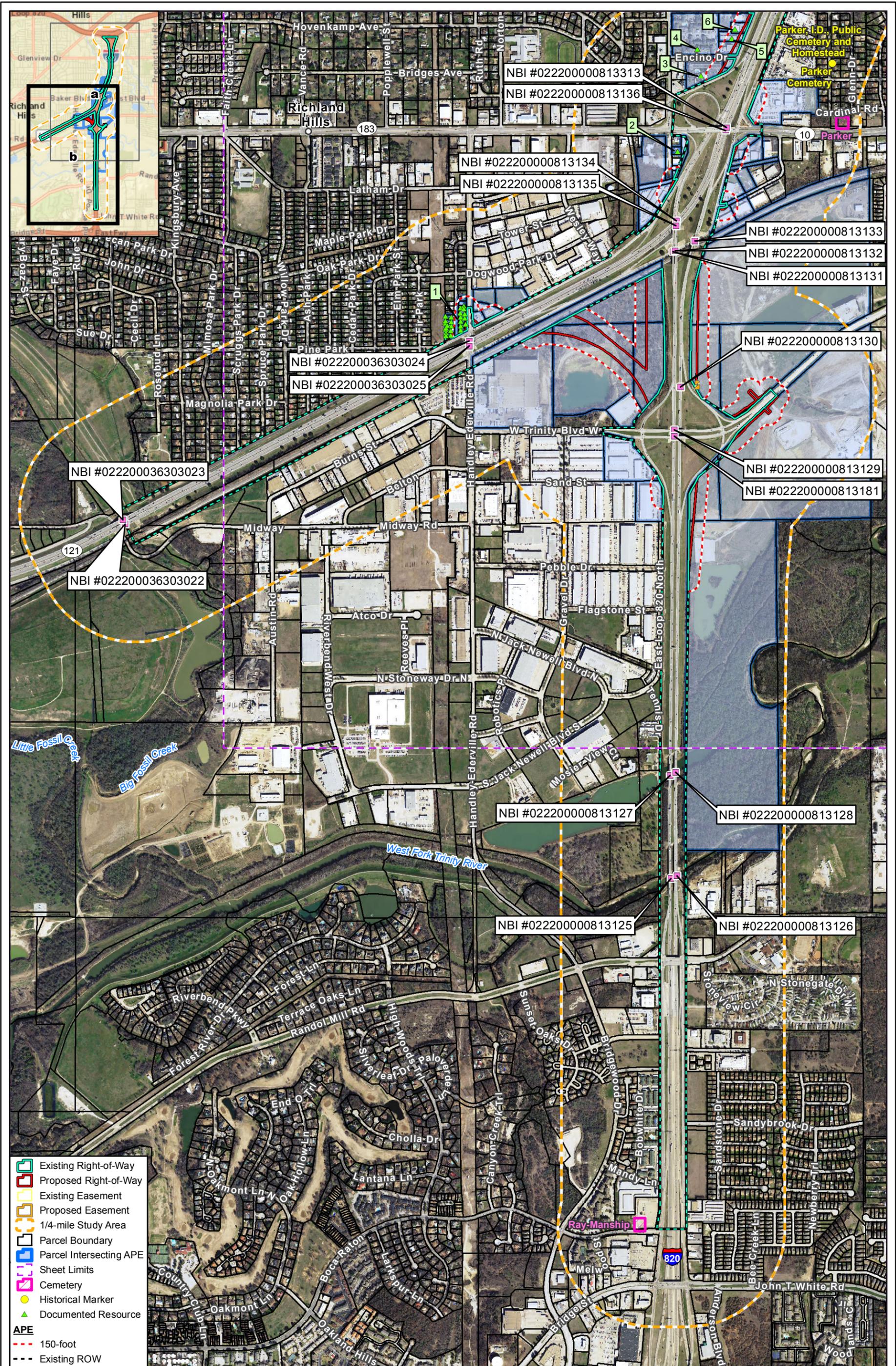


Figure 2a
Location of APE for Historic Resources
I-820 from SH 121 to Randol Mill Rd

Data Sources:
THC (2016), TxDOT (2016),
TCAD (2017), FHWA (2017),
CMEC (2017)
Aerial Source: TNRIS (2015)

Prepared for: TxDOT
Scale: 1:14,400
Date: 8/25/2017



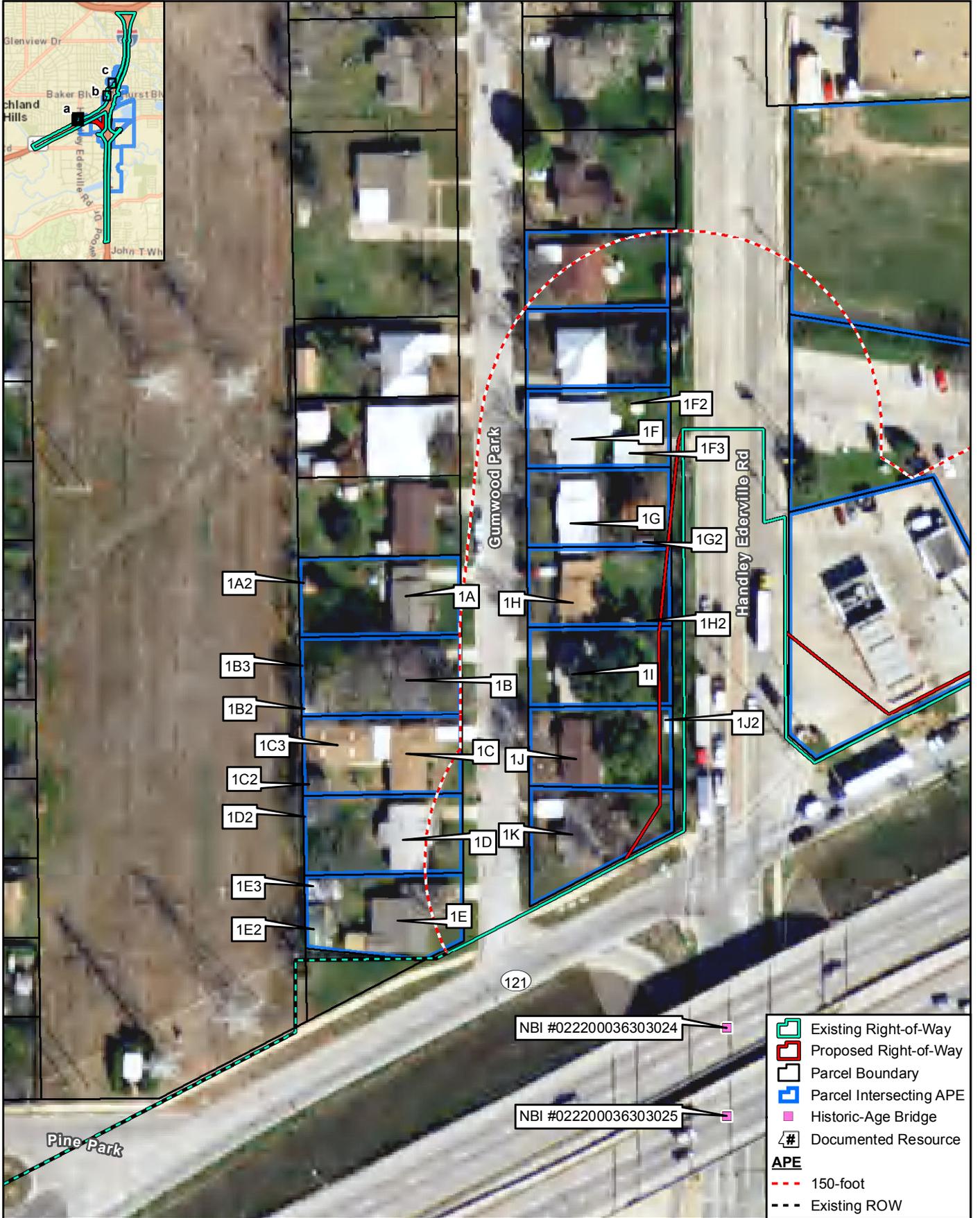


Figure 3a
Results of Historic Resources Survey
I-820 from SH 121 to Randol Mill Rd

Data Sources:
 TCAD (2017), CMEC (2017),
 THC (2016), FHWA (2017),
 Aerial Source: TNRIS (2015)

	0	100 Feet
	0	30 Meters
Prepared for: TxDOT	1 in = 100 feet	
CSJ: 0008-13-124	Scale: 1:1,200	
	Date: 8/23/2017	

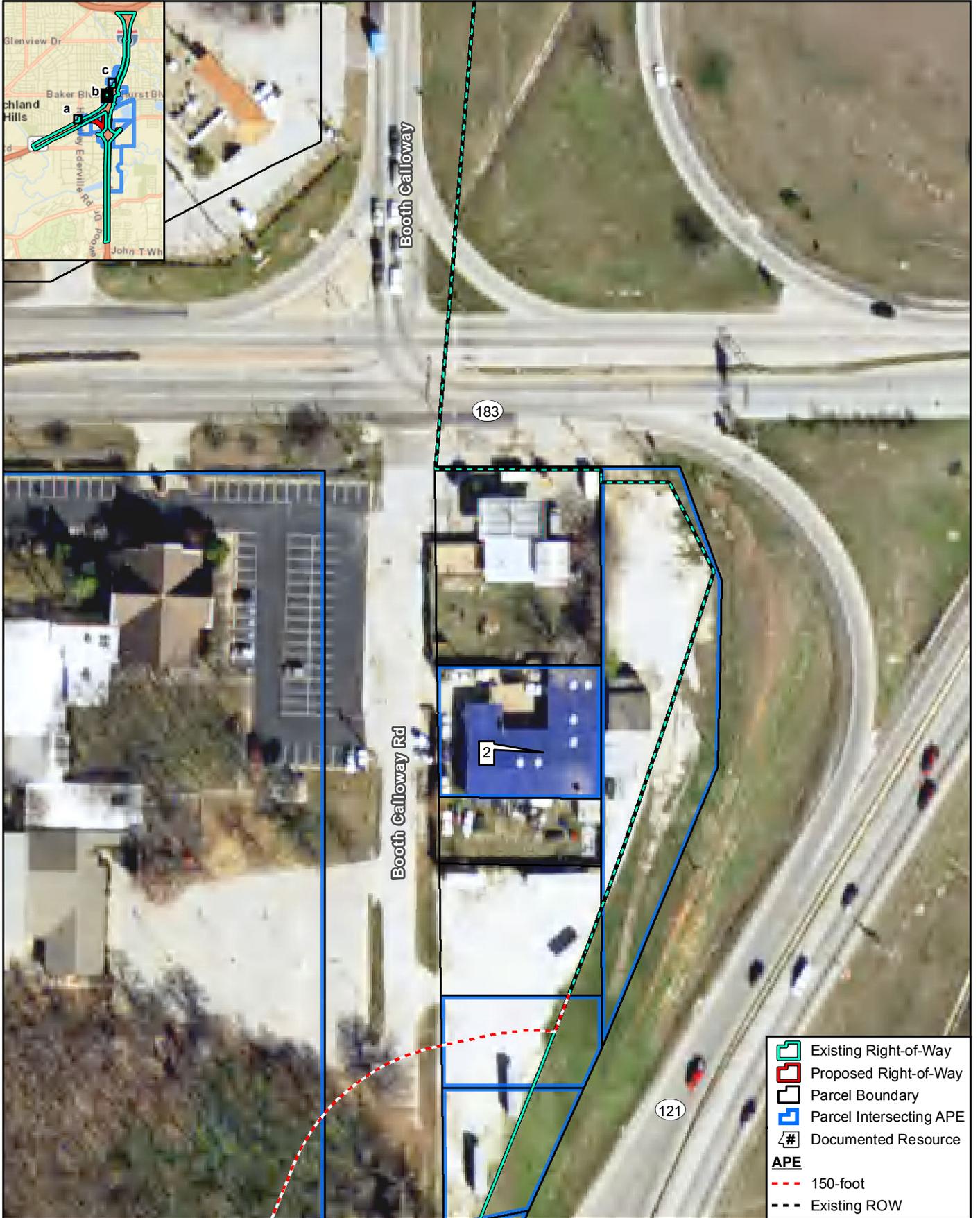


Figure 3b
Results of Historic Resources Survey
I-820 from SH 121 to Randol Mill Rd

Data Sources:
 TCAD (2017), CMEC (2017),
 THC (2016), FHWA (2017),
 Aerial Source: TNRIS (2015)

	0	100 Feet
	0	30 Meters
Prepared for: TxDOT	1 in = 100 feet	
CSJ: 0008-13-124	Scale: 1:1,200	
	Date: 8/25/2017	



	Existing Right-of-Way
	Proposed Right-of-Way
	Parcel Boundary
	Parcel Intersecting APE
	Documented Resource
APE	
	150-foot
	Existing ROW

Figure 3c
Results of Historic Resources Survey
I-820 from SH 121 to Randol Mill Rd

Data Sources:
 TCAD (2017), CMEC (2017),
 THC (2016), FHWA (2017),
 Aerial Source: TNRIS (2015)

	0	200 Feet
	0	60 Meters
Prepared for: TxDOT	1 in = 200 feet	
CSJ: 0008-13-124	Scale: 1:2,400	
	Date: 8/23/2017	

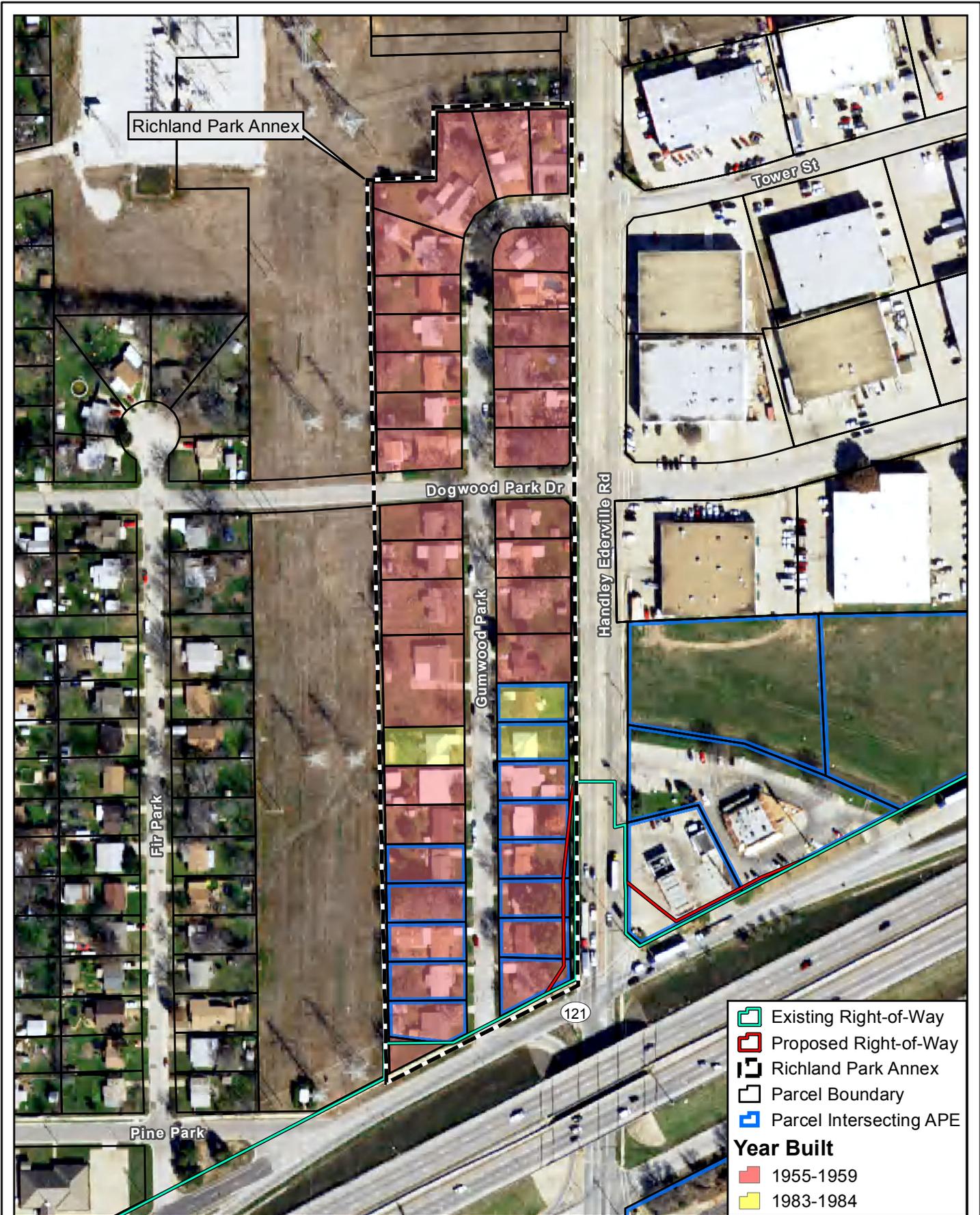


Figure 4
Richland Park Annex Subdivision

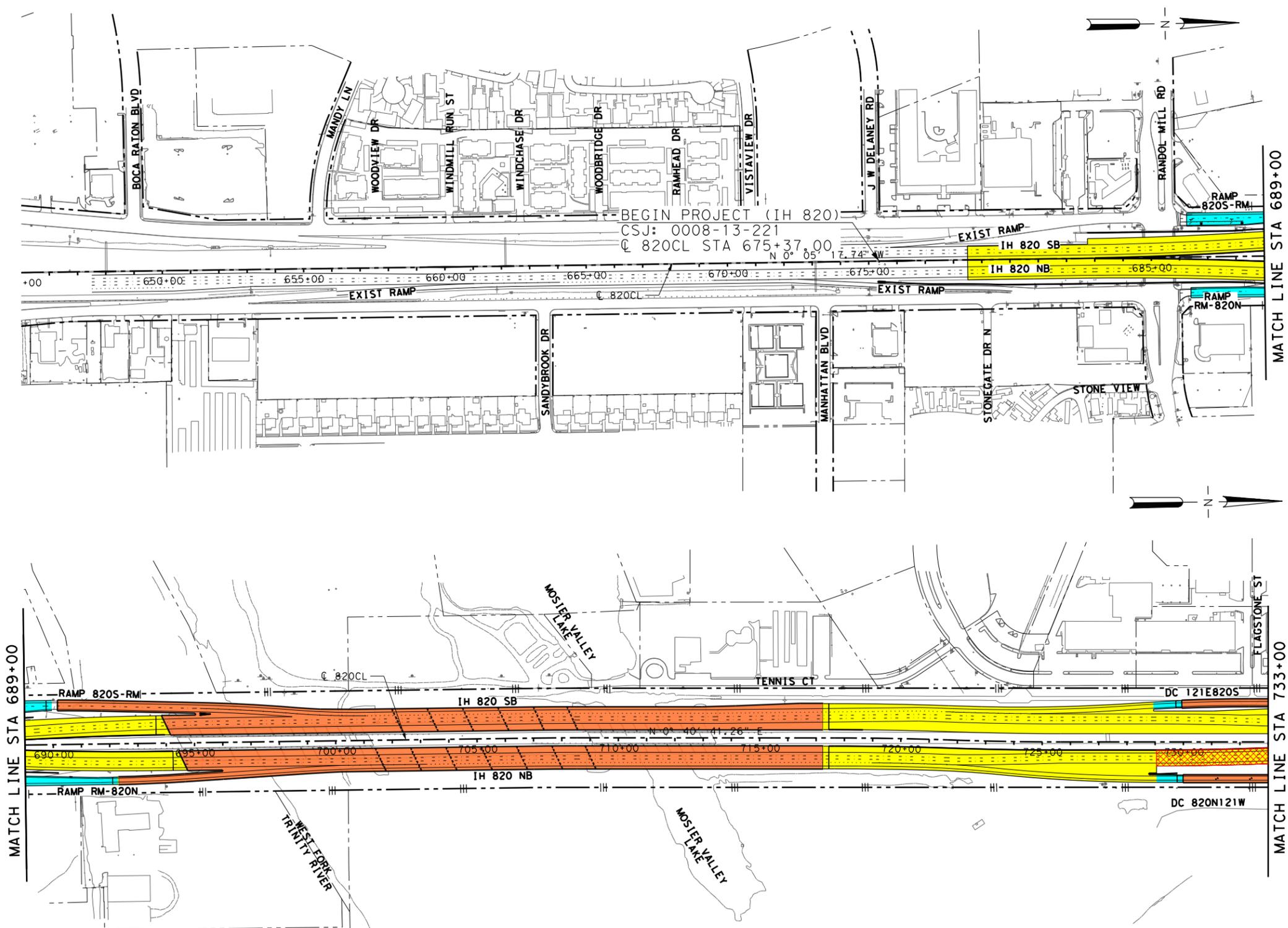
I-820 from SH 121 to Randol Mill Rd

G:\Projects\TxDOT_Historic\IH_820\Hist_Figure4_RPA Subdivision_20170822.mxd

Data Sources: TCAD (2017), CMEC (2017)
 Aerial Source: TNRIS (2015)

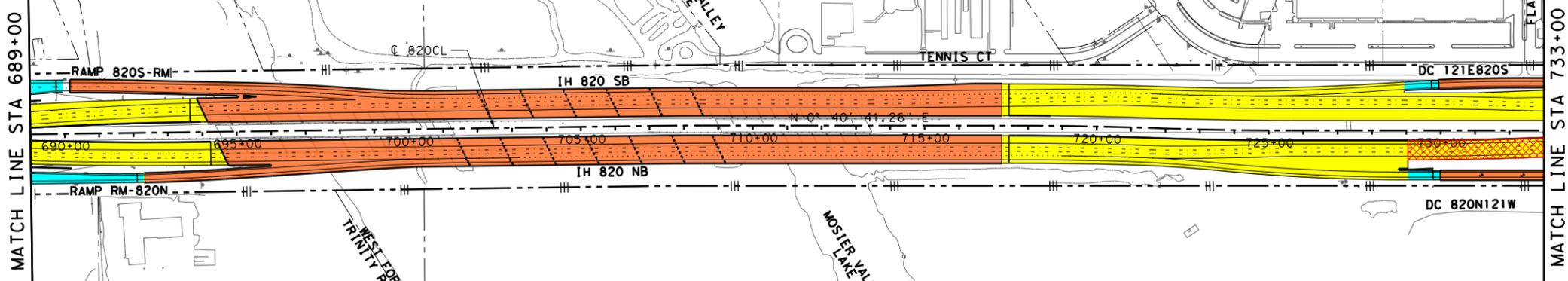
	Prepared for: TxDOT Scale: 1:2,400 Date: 8/23/2017
CSJ: 0008-13-124	

Appendix D: Schematics



Legend:

- PROPOSED GENERAL PURPOSE LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- INTERIM PAVEMENT
- INTERIM WIDENING PAVEMENT
- OVERLAY PAVEMENT
- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- PROPERTY LINE



DESIGN SCHEMATIC
 NOT INTENDED FOR CONSTRUCTION,
 BIDDING, AND OR PERMIT PURPOSES

JACOBS 1999 BRYAN STREET, SUITE 1200
DALLAS, TX 75201-3136
Phone 214.638.0145
Firm Registration F-2966

Texas Department of Transportation
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IH 820
INTERIM PROJECT LAYOUT
BEGIN PROJECT TO STA 733+00

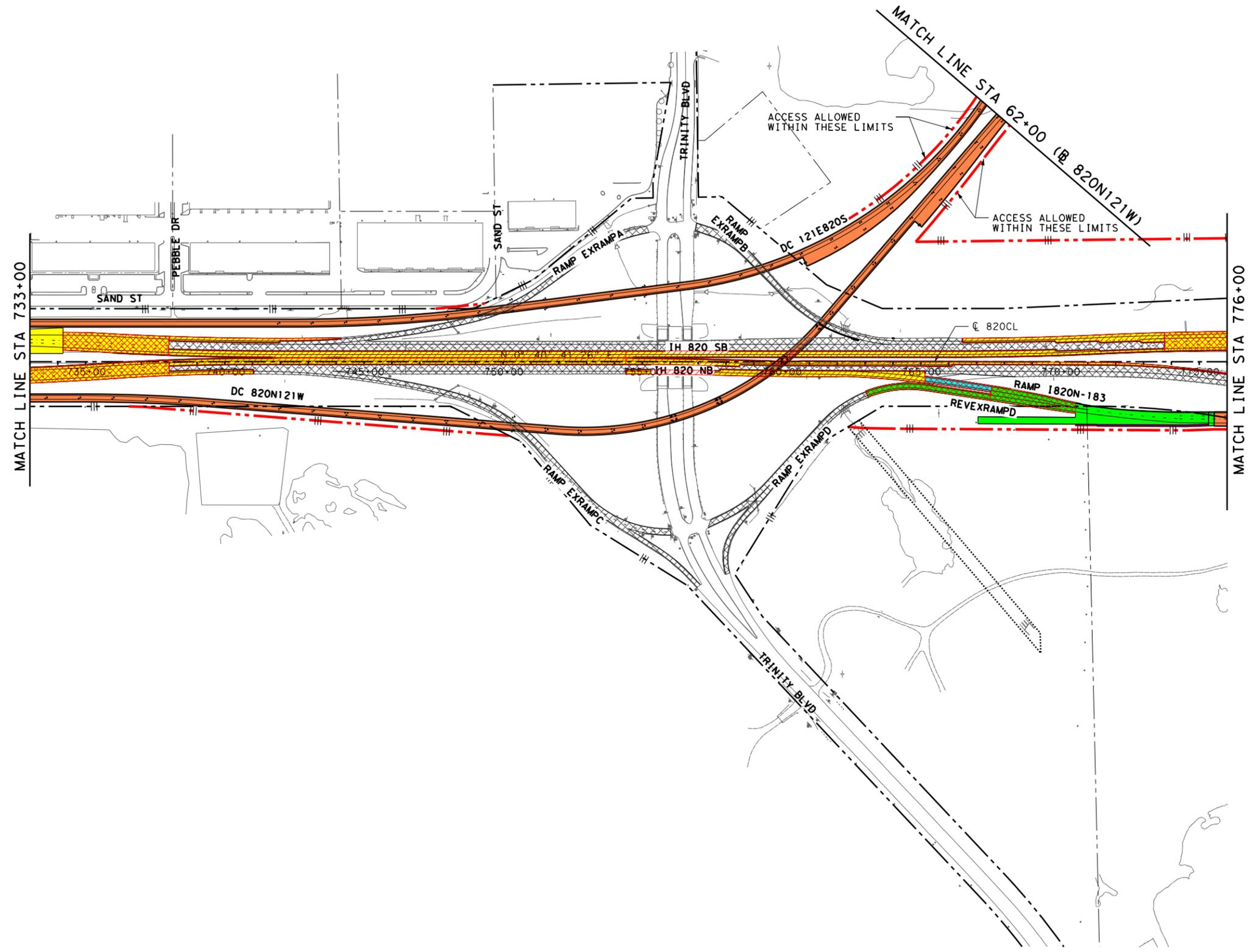
SCALE: 1"=400'(H) SHEET 1 OF 5

DESIGN JPP	FED. RD. DIV. NO. 6	FEDERAL AID PROJECT NO.		HIGHWAY NO. IH820
CHECK MWG	STATE	DISTRICT	COUNTY	SHEET NO.
GRAPHICS KMT	TEXAS	FTW	TARRANT	1
CHECK SFI	0008	13	221,ETC.	



Legend:

- PROPOSED GENERAL PURPOSE LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- INTERIM PAVEMENT
- INTERIM WIDENING PAVEMENT
- OVERLAY PAVEMENT
- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- PROPERTY LINE



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 NOT INTENDED FOR CONSTRUCTION,
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IH 820
INTERIM PROJECT LAYOUT
STA 733+00 TO STA 776+00

SCALE: 1"=400'(H) SHEET 2 OF 5

DESIGN JPP	FED. RD. DIV. NO. 6	FEDERAL AID PROJECT NO.		HIGHWAY NO. IH820
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GRAPHICS KMT	TEXAS	FTW	TARRANT	2
CHECK SFI	0008	13	221,ETC.	



Legend:

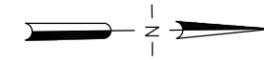
- PROPOSED GENERAL PURPOSE LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- INTERIM PAVEMENT
- INTERIM WIDENING PAVEMENT
- OVERLAY PAVEMENT
- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- PROPERTY LINE

DESIGN SCHEMATIC
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BIDDING, AND OR PERMIT PURPOSES



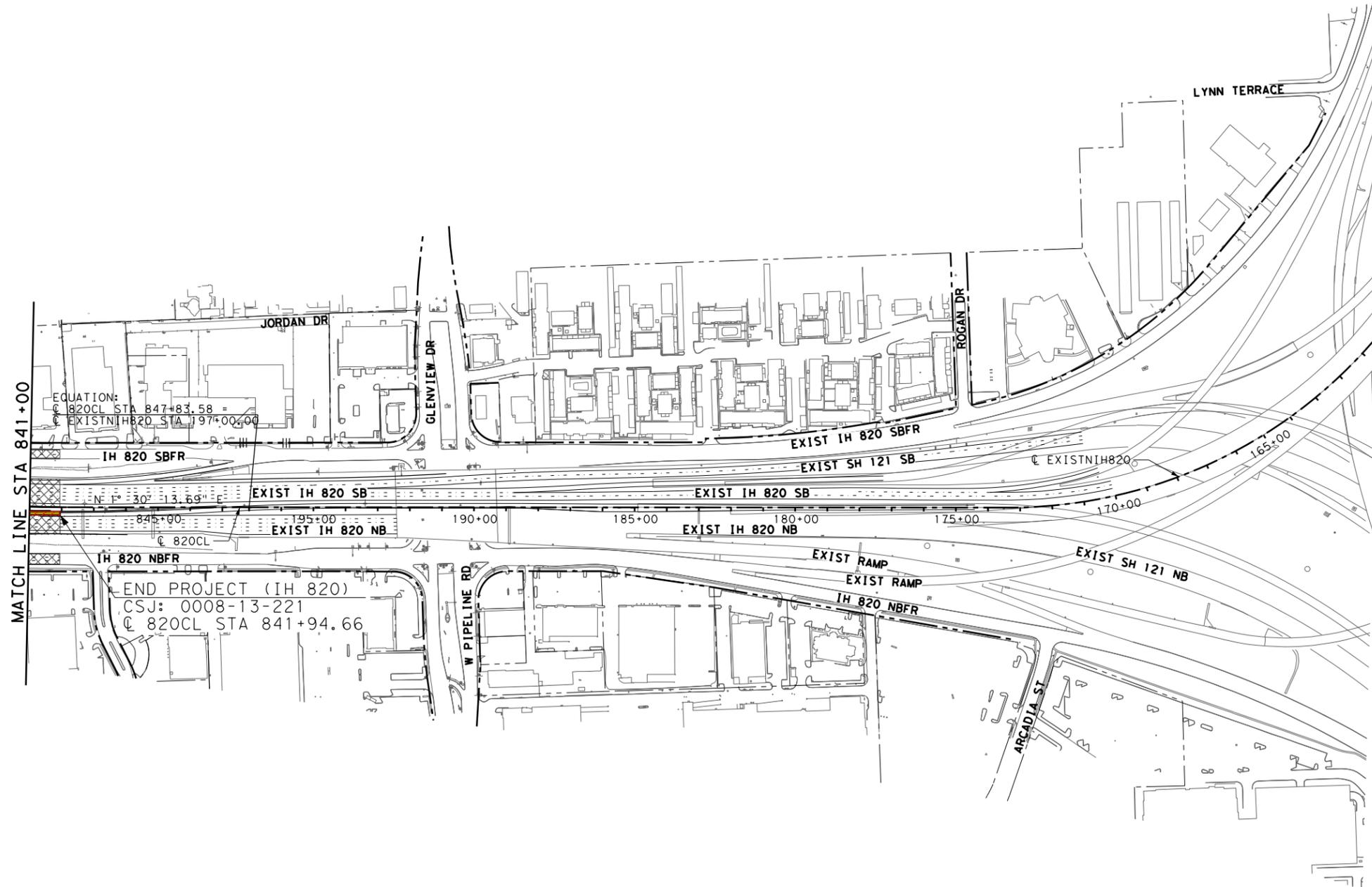
IH 820
INTERIM PROJECT LAYOUT
STA 776+00 TO STA 841+00

SCALE: 1"=400'(H)			SHEET 3 OF 5
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CHECK MWG	STATE	DISTRICT	COUNTY
GRAPHICS KMT	TEXAS	FTW	TARRANT
CHECK SFI	0008	13	221,ETC.
			3



Legend:

- PROPOSED GENERAL PURPOSE LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- INTERIM PAVEMENT
- INTERIM WIDENING PAVEMENT
- OVERLAY PAVEMENT
- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- PROPERTY LINE



DESIGN SCHEMATIC
 NOT INTENDED FOR CONSTRUCTION,
 BIDDING, AND OR PERMIT PURPOSES

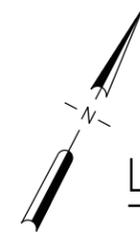
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IH 820
INTERIM PROJECT LAYOUT
STA 841+00 TO END PROJECT

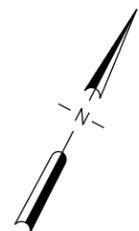
SCALE: 1"=400'(H) SHEET 4 OF 5

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JPP	6			IH820
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MWG	TEXAS	FTW	TARRANT	4
GRAPHICS	CONTROL	SECTION	JOB	
CHECK	SFI	0008	13	221,ETC.



Legend:

- PROPOSED GENERAL PURPOSE LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- INTERIM PAVEMENT
- INTERIM WIDENING PAVEMENT
- OVERLAY PAVEMENT
- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- PROPERTY LINE



BEGIN PROJECT (SH 121)
CSJ: 0363-03-054
@ 121CL STA 290+33.00

MATCH LINE STA 329+00

MATCH LINE STA 362+00 -
SEE SHEET 3

MATCH LINE STA 62+00 (@ 820N121W)

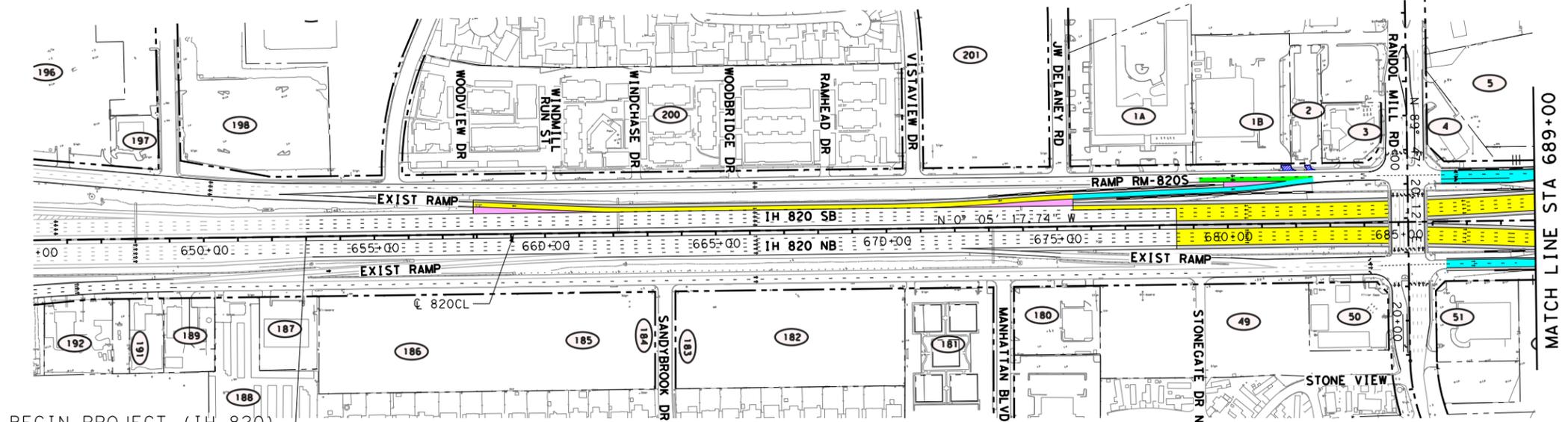
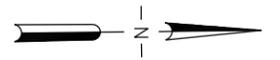
DESIGN SCHEMATIC
 NOT INTENDED FOR CONSTRUCTION,
 BIDDING, AND OR PERMIT PURPOSES

JACOBS 1999 BRYAN STREET, SUITE 1200
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Phone 214.638.0145
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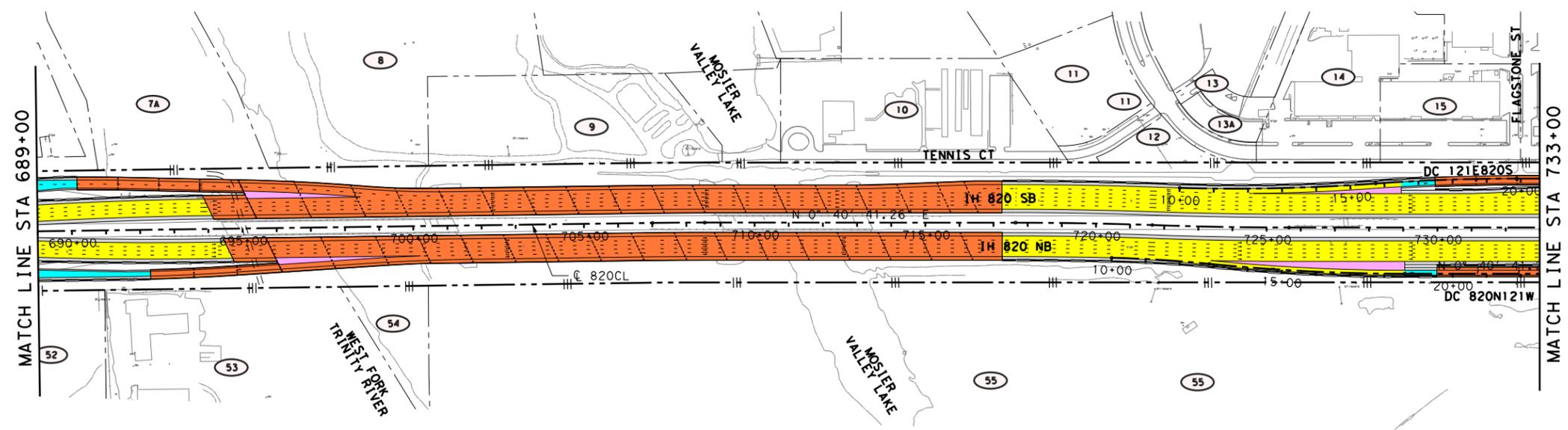
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IH 820
INTERIM PROJECT LAYOUT
BEGIN SH 121 TO STA 362+00

SCALE: 1"=400'(H)		SHEET 5 OF 5	
DESIGN JPP	FED. RD. DIV. NO. 6	FEDERAL AID PROJECT NO.	
CHECK MWG	STATE	DISTRICT	COUNTY
GRAPHICS KMT	TEXAS	FTW	TARRANT
CHECK SFI	0008	13	221,ETC.
			5



BEGIN PROJECT (IH 820)
 CSJ 0008-13-124
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Legend:

- PROPOSED GENERAL PURPOSE LANES
- PROPOSED MANAGED LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
- PROPOSED SHOULDERS
- PROPOSED FRONTAGE ROADS/CITY STREETS
- PROPOSED BYPASS FRONTAGE ROADS
- PROPOSED BRIDGE
- PROPOSED SIDEWALK
- PROPOSED GORE
- EXISTING DRIVEWAY REMOVAL
- RIGHT IN ONLY DRIVEWAY
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- PROPOSED PAVEMENT EDGE
- EXISTING R.O.W.
- PROPOSED R.O.W.
- EXISTING DRAINAGE EASEMENT
- PROPOSED DRAINAGE EASEMENT
- EXISTING CONTROL-OF-ACCESS
- PROPOSED CONTROL-OF-ACCESS
- PROPOSED RETAINING WALLS
- (25A) PROPERTY OWNER PARCEL NUMBER
- PROPERTY LINE

DESIGN SCHEMATIC
 NOT INTENDED FOR CONSTRUCTION,
 BIDDING, AND OR PERMIT PURPOSES

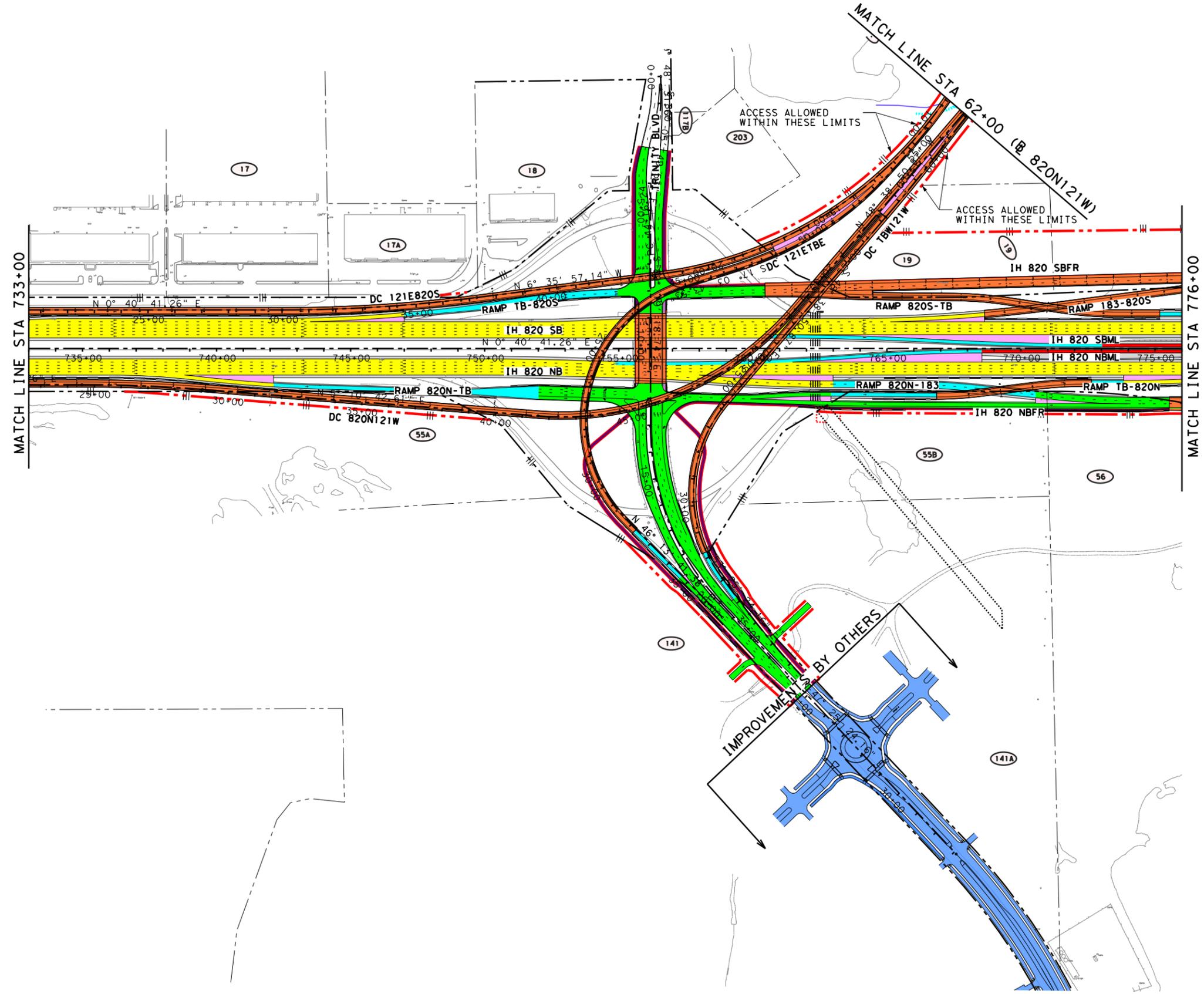
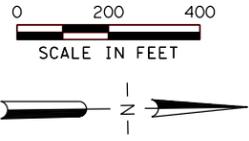
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 DALLAS, TX 75201-3136
 Phone 214.638.0145
 Firm Registration F-2966

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IH 820
PROJECT LAYOUT
BEGIN PROJECT TO STA 733+00

SCALE: 1"=400'(H)		SHEET 1 OF 5	
DESIGN	FED. RD. DIV. NO.	STATE PROJECT NO.	
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GRAPHICS	CONTROL	SECTION	JOB
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- PROPOSED DRAINAGE EASEMENT
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- 25A PROPERTY OWNER PARCEL NUMBER
- PROPERTY LINE

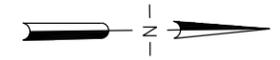
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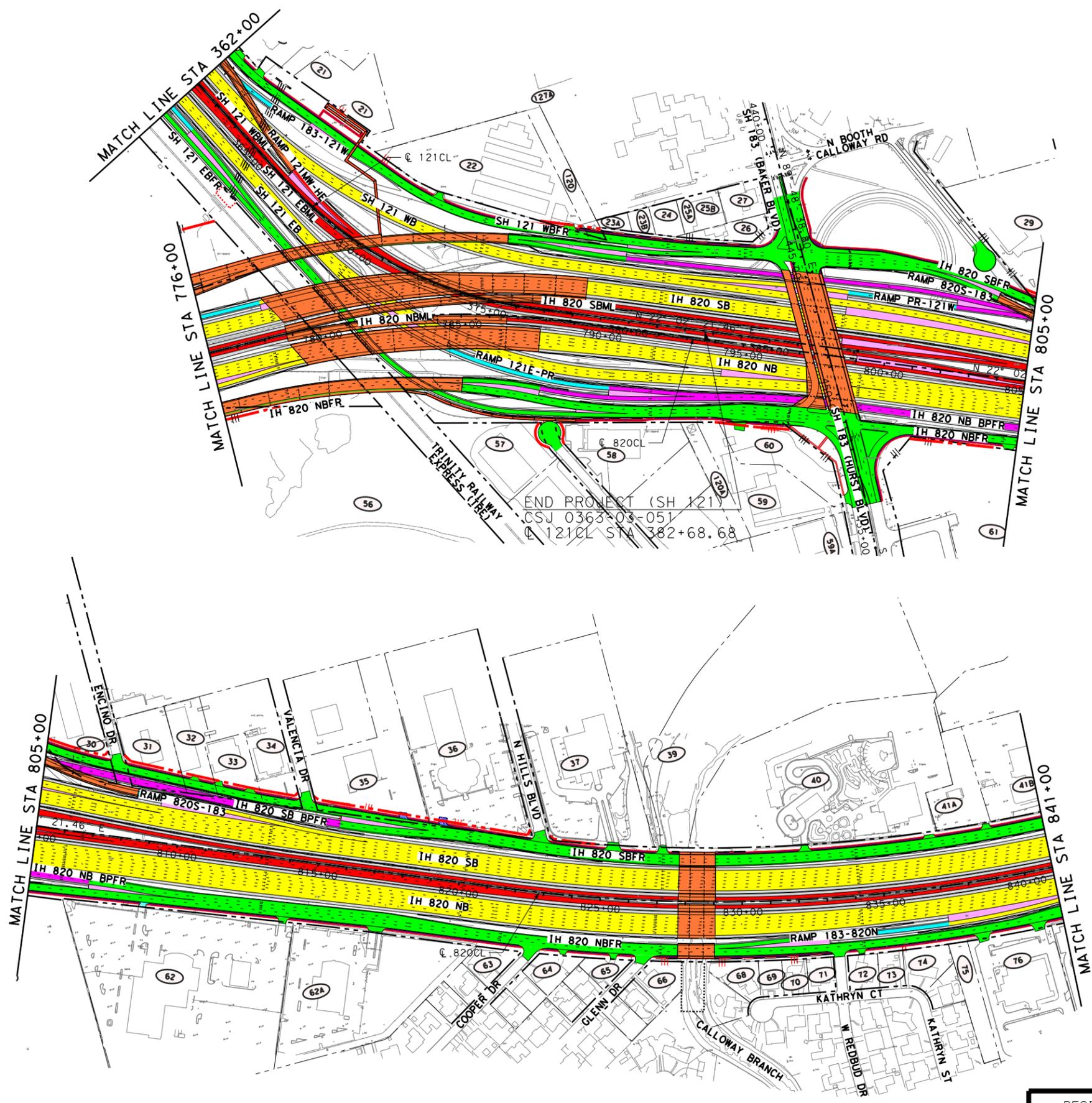
IH 820
PROJECT LAYOUT
STA 733+00 TO STA 776+00

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GRAPHICS	TEXAS	FTW	TARRANT	2
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- PROPOSED MANAGED LANES
- PROPOSED RAMPS/DIRECT CONNECTORS
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- 25A PROPERTY OWNER PARCEL NUMBER
- PROPERTY LINE



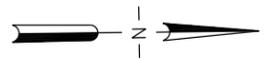
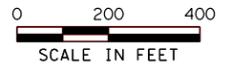
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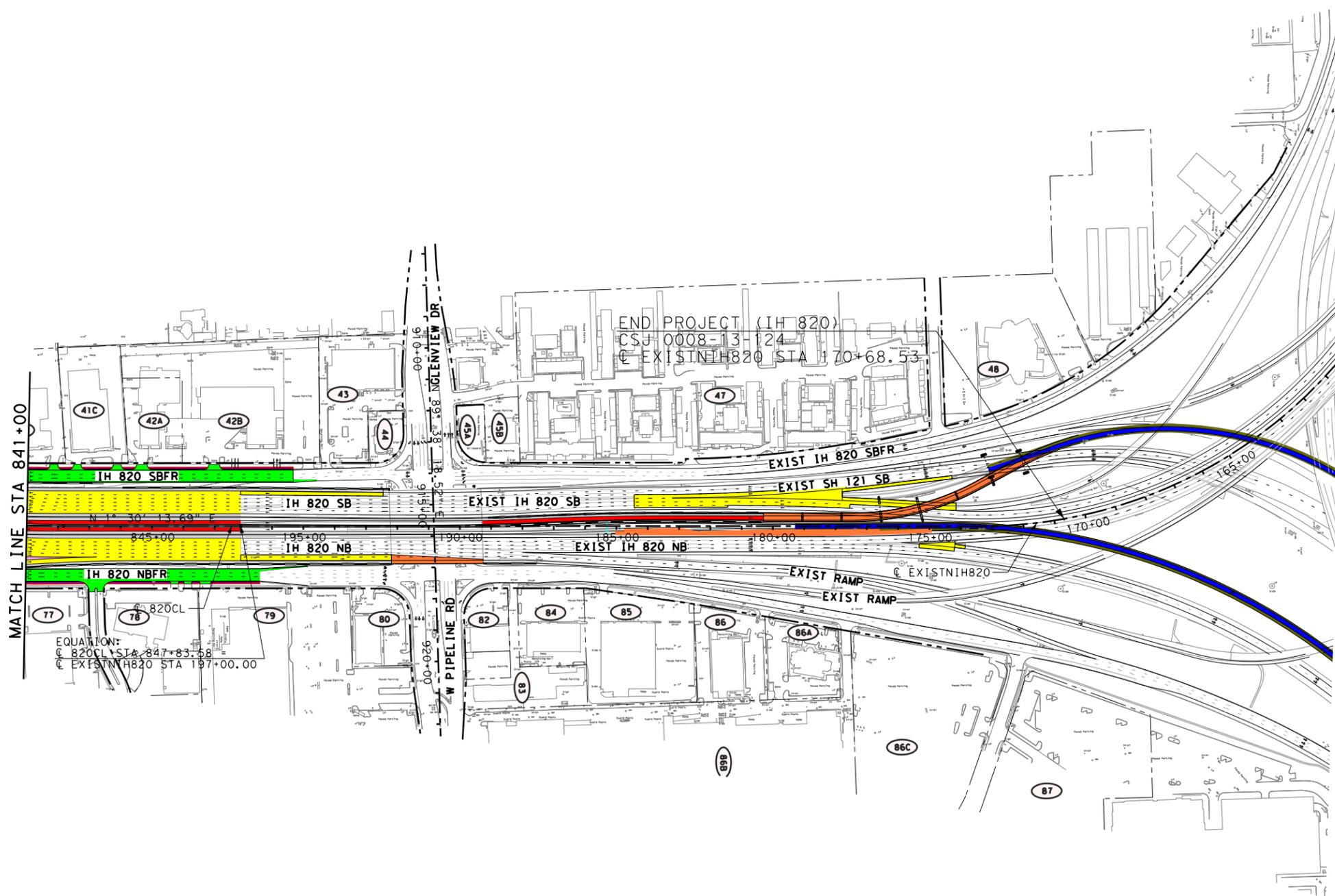
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PROJECT LAYOUT
STA 776+00 TO STA 841+00

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		TEXAS	FTW	TARRANT
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Legend:

- PROPOSED GENERAL PURPOSE LANES
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- PROPOSED RAMPS/DIRECT CONNECTORS
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- PROPOSED FRONTAGE ROADS/CITY STREETS
- PROPOSED BYPASS FRONTAGE ROADS
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- PROPOSED SIDEWALK
- PROPOSED GORE
- EXISTING MANAGED LANES TO REMAIN
- EXISTING DRIVEWAY REMOVAL
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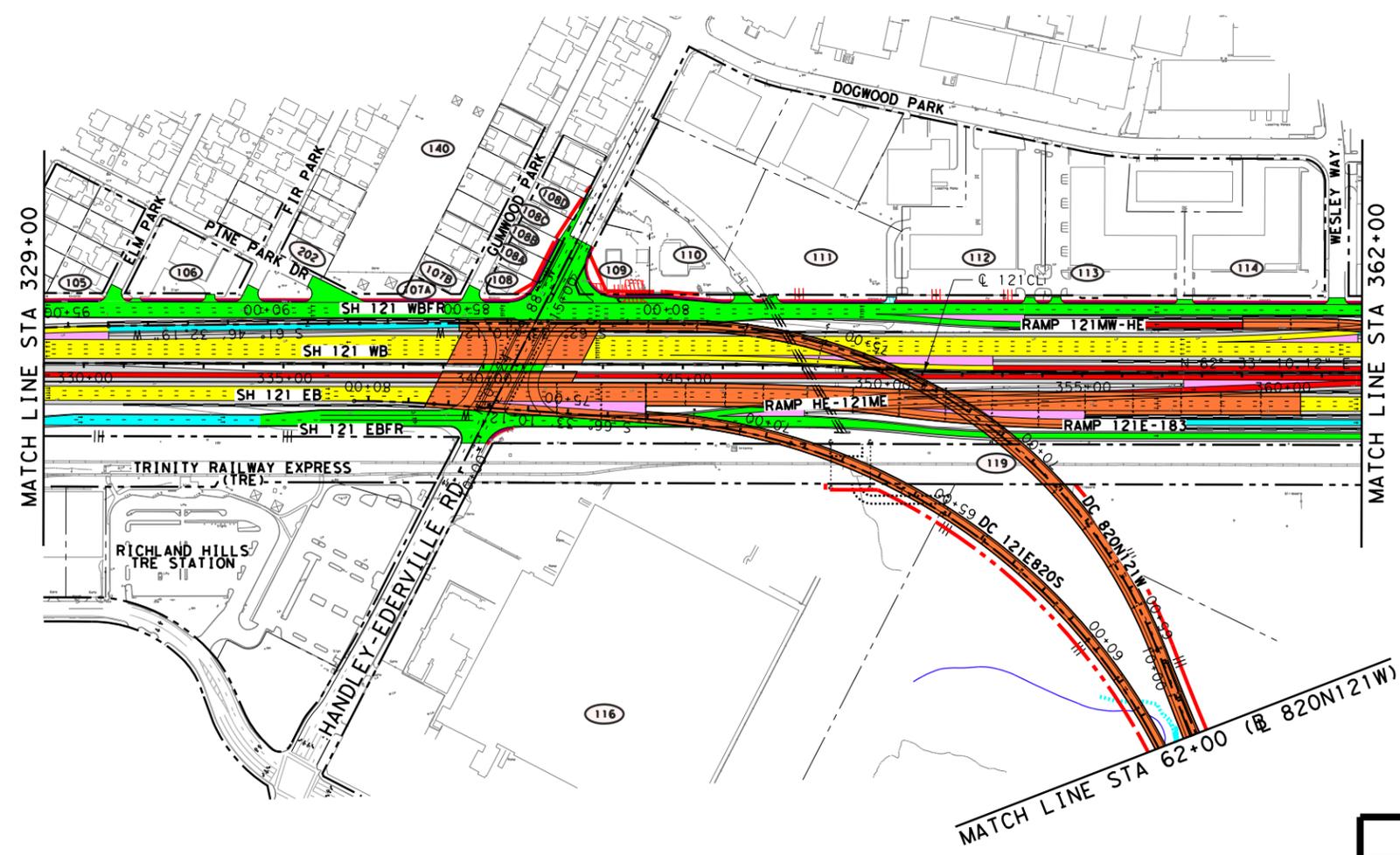
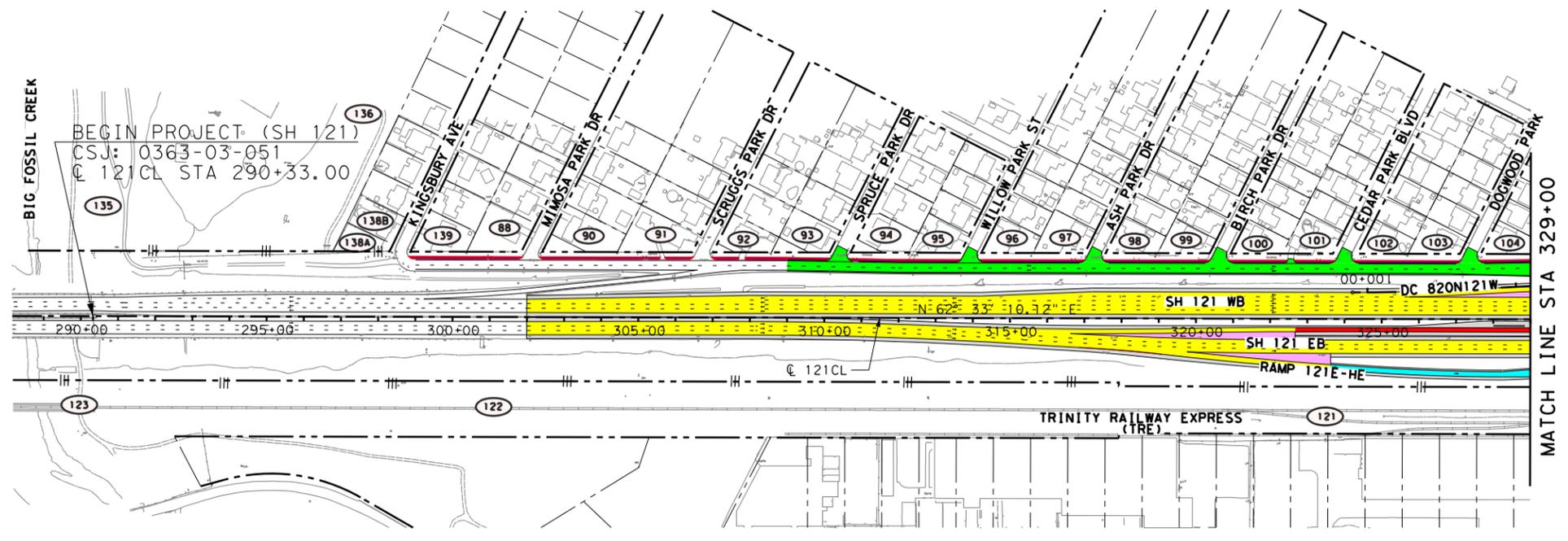
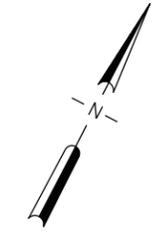
IH 820
PROJECT LAYOUT
STA 841+00 TO END PROJECT

SCALE: 1"=400'(H) SHEET 4 OF 5

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	6			IH820
GRAPHICS KMT CHECK	STATE	DISTRICT	COUNTY	SHEET NO.
	TEXAS	FTW	TARRANT	4
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IH 820
PROJECT LAYOUT
BEGIN SH 121 TO STA 362+00

SCALE: 1"=400'(H)		SHEET 5 OF 5	
DESIGN	FED. RD. DIV. NO.	STATE PROJECT NO.	
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GRAPHICS	TEXAS	FTW	TARRANT
KMT	CONTROL	SECTION	JOB
CHECK	0008	13	124,ETC.
			5

Appendix E: Supplemental Photographs and Images

Appendix E

Supplemental Photographs

- **Resource 3** exhibits typical characteristics of a 1960s Holiday Inn brand motel including brick wall cladding, a glassy expanse of floor-to-ceiling hotel room windows, a separated lobby/office building, a water feature adjacent the entrance, a large sign and marquee, and a covered walkway with mushroom supports. Below, historic postcards and a 2012 image of the resource's original windows and doors prior to their recent replacement illustrate the aforementioned characteristics.



Photo 1. Holiday Inn, Cordele Georgia (Source: The Cardboard America Archives)



Photo 3. Holiday Inn, Plymouth, Indiana, Showing Exterior Windows/Doors (Source: The Cardboard America Archives)



Photo 2. Holiday Inn, Jesup, Georgia (Source: The Cardboard America Archives)



Photo 4. 2012 Exterior View Showing Original Windows/Doors (Source: Google)

- **West Fork of the Trinity River.** Photographs were taken by Cox|McLain Environmental Consulting, Inc. historians on August 17, 2017.



Photo 5. West Fork of the Trinity River (from I-820) showing undeveloped land adjacent to the river and natural state of channel, view facing east..

- **Mid-20th Century Neighborhoods.** Representative photographs of four mid-20th century neighborhoods outside of the APE, but within the study area are included below. These neighborhoods include: (1) Richland Heights Addition, (2) Richland Hills Additions, (3) Richland Park Addition, and (4) Hurst Hills Addition. Photographs were taken by Cox|McLain Environmental Consulting, Inc. historians on August 17, 2017.

Richland Heights Addition



Photo 6. Ashmore Dr, north of Conn Dr, view facing north.



Photo 7. Ashmore Dr, north of Randle Dr, view facing north.



Photo 8. Postwar church on I-820 frontage road within Richland Heights Addition neighborhood boundary, view facing northwest.

Richland Hills Addition



Photo 7. Intersection of Dover Ln and Norton Dr, view facing northwest.



Photo 8. Intersection of Dover Ln and Norton Dr, view facing southwest.



Photo 11. Infill development on Sruggs Dr at Dover Ln, view facing southwest.



Photo 12. Richland Middle School, located within the neighborhood boundary at Hovenkamp Ave and Norton Dr; view facing southeast.



Photo 9. Kate Baker Park located within the neighborhood boundary at Dover Ln and Vance Rd, view facing southwest.

Richland Parks Addition



Photo 14. Elm Park, view facing southwest.



Photo 15. Elm Park, view facing northwest.



Photo 10. Spruce Park Dr, view facing northwest.

Hurst Hills Addition



Photo 11. Cooper Drive, view facing southeast.



Photo 12. Intersection of Arcadia St and Belmont Dr, view facing west.



Photo 19. Red Bud Dr, view facing northeast.



Photo 20. Google Streetview image of Jaycee Baker Park, view facing northwest. (Photograph could not be obtained in the field due to the presence of people.)

Appendix F: Consulting Party Comments

Heather Goodson

From: Heather Goodson
Sent: Wednesday, August 23, 2017 6:54 PM
To: 'yippy-io1876@sbcglobal.net'
Subject: Request to Tarrant County Historical Commission - TxDOT Project: I-820 from SH 121 to Randol Mill Road
Attachments: Figure 1_Project Location_Road_20170810.pdf

Mr. Myers,

I am contacting you in your capacity as chair of the Tarrant County Historical Commission regarding a TxDOT has proposed for I-820 from State Highway 121 to Randol Mill Road. We are currently conducting a historic resources survey for the proposed project. Please see the attached map of the project location. The proposed project would entail the following:

The northern section of the proposed project along I-820 extends from the northern I-820/SH 121/SH 183 interchange south to Trinity Boulevard. In this area, the project would reconstruct the roadway to include up to five northbound and six southbound general purpose lanes, in addition to auxiliary lanes. The proposed project would also include one managed toll lane in each direction and continuous frontage roads that would vary from one to three lanes in each direction along this section. At the southern end of the I-820 project area, extending from Trinity Boulevard to Randol Mill Road, the proposed project would reconstruct this section of roadway to include five general purpose lanes in each direction.

From I-820 to Handley-Ederville Road on SH 121, the proposed project would reconstruct the roadway to include three general purpose lanes in each direction, one managed toll lane in each direction, and continuous frontage roads varying from one to three lanes in each direction.

The entire length of the project would have 6-foot-wide pedestrian sidewalks, and a 14-foot-wide shared-use lane for cyclists would run along the frontage roads.

I am writing to ask if your organization knows of any locally significant historic resources constructed prior to 1973 and/or any resources of concern to your organization within the project limits. If so, please let me know what the resources are so that we may incorporate them into our survey findings and recommendations, which we will be submitting to TxDOT.

Thank you for your consideration in this regard. Please feel free to contact me by telephone if you have any questions or would like to discuss particular resources within the project limits.

With regards,
Heather Goodson

Heather D. Goodson
Historic Preservation Manager | Oklahoma Office Manager
Cox | McLain Environmental Consulting, Inc.
The Kennedy Building
321 S. Boston Avenue, Suite 300
Tulsa, OK 74103
(office) 918-986-1717
(cell) 918-260-7675
www.coxmclain.com

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Historical Studies Research Design

I-820 from SH 121 to Randol Mill Road

CSJ 0008-13-124, Fort Worth District, Tarrant County

Principal Investigator: Heather Goodson, Cox | McLain Environmental Consulting
August 2017

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried-out by TxDOT pursuant to 23 U.S.C. 327 and a Memorandum of Understanding dated December 16, 2014, and executed by FHWA and TxDOT.

This research design is produced for the purposes of meeting requirements under Section 106 of the National Historic Preservation Act, the Antiquities Code of Texas, and other cultural resource legislation related to environmental clearance as applicable.

Project Identification

- **Date:** 08/28/2017
- **Projected Date(s) of Fieldwork:** 08/16–17/2017
- **Projected Historical Studies Survey Type:**
Constraints Analysis Reconnaissance Intensive
- **Research Design Version:** Draft Final
- **Regulatory Jurisdiction:** Federal State
- **TxDOT Contract Number:** 57609SH002
- **District:** Fort Worth
- **County or Counties:** Tarrant
- **Highway:** I-820
- **CSJ:** 0008-13-124
- **Anticipated Report Author(s):** Emily Reed, Heather Goodson, Izabella Dennis, and Sandy Shannon
- **Anticipated Principal Investigator:** Heather Goodson

Project Description

- **Project Type:** Roadway improvements
- **Total Project Length:** Approximately 6 miles
- **New Right of Way (ROW) Acreage:** Approximately 23 acres
- **Easement Acreage:** 0.025 acre
- **Recommended Area of Potential Effects (APE):**

The existing ROW

150' from proposed ROW and easements

300' from proposed ROW and easements

Custom: _____ feet from proposed ROW and easements

Custom: Defined as existing ROW in sections where proposed project would not require new ROW and 150 feet from proposed ROW and easements in sections where new ROW and easement would be required, in accordance with the *Programmatic Agreement Among the Federal Highway Administration, the Texas Department of Transportation, the Texas State Historic Preservation Officer, and the Advisory Council on Historic Preservation Regarding the Implementation of Transportation Undertakings*.

- **Historic-Age Survey Cut-Off Date:** 1972 (45 years prior to let date of 2017)

Project Description and Location

- **Existing Transportation Facility:** The proposed project would reconstruct Interstate Highway 820 (I-820) from approximately 2,000 feet north of Pipeline Road/Glenville Drive to approximately 3,200 feet south of Randol Mill Road, and it would reconstruct the State Highway 121 (SH 121) interchange from the southern I-820/SH 121 interchange to approximately 5,000 feet west of Handley-Ederville Road. The existing northern section of the project, which extends from the I-820/SH 121/SH 183 interchange south to Trinity Boulevard, consists of up to four northbound and five southbound general purpose lanes with discontinuous frontage roads ranging from two to three lanes in each direction. The existing southern section of the project, which extends from Trinity Boulevard to Randol Mill Road, consists of two general purpose lanes running in each direction. The existing SH 121 freeway, from I-820 to Handley-Ederville Road, varies from two to three general purpose lanes in each direction and includes continuous frontage roads consisting of two lanes in each direction.
- **Current Environment:** The proposed project area is located in north-central Tarrant County, northeast of downtown Fort Worth. I-820 is a loop that circles the City of Fort Worth and connects with many of the surrounding suburbs. The project area passes through the cities of Hurst, Richland Hills, North Richland Hills, and Fort Worth, areas that have all increased in population over the last several decades. The proposed project area is primarily

characterized by mid- to late-twentieth century residential developments with concentrated areas of commercial development supporting the communities. The project area also extends across the West Fork of the Trinity River and the Calloway Branch Trail.

- **Proposed Project Activity(s):** The northern section of the proposed project along I-820 extends from the northern I-820/SH 121/SH 183 interchange south to Trinity Boulevard. In this area, the project would reconstruct the roadway to include up to five northbound and six southbound general purpose lanes, in addition to auxiliary lanes. The proposed project would also include one managed toll lane in each direction and continuous frontage roads that would vary from one to three lanes in each direction along this section. At the southern end of the I-820 project area, extending from Trinity Boulevard to Randol Mill Road, the proposed project would reconstruct this section of roadway to include five general purpose lanes in each direction.

From I-820 to Handley-Ederville Road on SH 121, the proposed project would reconstruct the roadway to include three general purpose lanes in each direction, one managed toll lane in each direction, and continuous frontage roads varying from one to three lanes in each direction.

The entire length of the project would have 6-foot-wide pedestrian sidewalks, and a 14-foot-wide shared-use lane for cyclists would run along the frontage roads.

- **Comments on Project Setting:** The project area is characterized by a mix of residential, retail, commercial, and light industrial land uses. Based on review of historic aerial photographs and topographic maps, the area began to see development along I-820 during the mid-twentieth century. Prior to that time, the area was primarily rural agricultural land or undeveloped forested areas.

Anticipated Survey Methods

- **Anticipated surveyors:** Emily Reed and Izabella Dennis
- **Study Area:** The study area is defined as a one-quarter-mile buffer from the project area, in accordance with TxDOT standards. The study area includes the northeast side of Fort Worth, the east side of Richland Hills, the southeast corner of North Richland Hills, and the southwest corner of Hurst. A review of the Texas Historic Sites Atlas indicates there are no properties or districts within the study area designated as National Historic Landmarks, State Antiquities Landmarks (SALs), or Recorded Texas Historic Landmarks (RTHLs), or listed in the National Register of Historic Places (NRHP). There are two Official Texas Historical Marker (OTHM) located at the Parker Cemetery on Cardinal Road, north of SH 10/W. Hurst Boulevard and east of I-820. According to the TxDOT GIS data for historic bridges and historic districts and properties, there are no historic bridges, historic districts, or historic properties within the study area.
- **Anticipated Period(s) of Significance:** Based on the research to-date, the period of significance is anticipated to be ca. 1950 to 1971, representing the post-World War II suburbanization of the area. The end date reflects the date the North East Mall opened; the

mall appears to have been the catalyst for commercial and retail development after that time period, particularly near the north end of the project area. It is anticipated that field survey and additional research during the development of the historic resources survey report will further refine the period of significance.

- **Methodological Reasoning:** Based on the characteristics of the project and the acquisition of proposed new ROW, which would have the potential to cause adverse effects to historic properties, a reconnaissance survey of the APE is needed to identify historic-age resources in the APE, evaluate them for eligibility for the NRHP, and assess effects from the proposed undertaking.
- **Anticipated survey methodology, including resource identification, typology, and documentation standards:** CMEC architectural historians will survey the project area and document all resources 45 years old or older on parcels within the APE. Documentation efforts will conform to TxDOT's *Documentation Standard for a Reconnaissance Survey Report*. The reconnaissance report will include a cover and title pages with necessary identifying information. A project description with enough information for reviewers to determine the scope of potential impacts to any historic properties or districts will be provided. Right-of-way information will be included in the document. The document will also include the APE and its justification, the study area and its justification, and the historic-age cut-off date. The proposed project limits and surveyed properties will be depicted on current aerial photography. A search of previously recorded or designated historic properties within the study area will be included in the report with explicit references made to the following records:
 - The Texas Historical Commission (THC) Historic Sites Atlas Online
 - The National Register of Historic Places (NRHP)
 - The list of State Antiquities Landmarks (SAL)
 - The list of Recorded Texas Historic Landmarks (RTHL)
 - The TxDOT Depression-era Roadside Masonry Survey Inventory
 - The TxDOT Rest Area Survey Inventory
 - The TxDOT Historic Bridge Survey Inventory
 - Local designations
- The report will also include:
 - Brief architectural descriptions of identified resources, including integrity issues
 - NRHP-eligibility recommendations and justifications for each resource
 - Statement including presence or absence of NRHP-eligible historic district(s) and/or cultural landscapes; if a district is present a general description of the geographic boundaries will be included
 - Effects recommendations
 - Further research recommendations

- Results of consultation with consulting parties identified in the next section.
- Photography of the resources will include at least two photographs of each historic-age resource located within the APE. Photographs will be at least 1200 x 1600 pixels and will include a front façade and an oblique of the front and side façades. Additional photographs of architectural details will be included in the photo documentation, as will photographs of potential historic districts or cultural landscapes. The following information will be presented on photo pages for each resource:
 - Survey resource identification number
 - County and project name
 - Control-Section-Job (CSJ) number
 - Latitude, longitude, and physical address (if known)
 - Camera direction
 - Architectural style and/or form
 - Construction date
 - Architectural description, with integrity issues
 - NRHP-eligibility recommendations and NRHP boundaries (if applicable)
 - Effects to the resources

This information will also be presented in an inventory table. More in-depth discussions will be provided on individual survey photo sheets and in the report.
- Maps meeting TxDOT-ENV requirements for reconnaissance surveys will also be included. Maps will show:
 - Project location and project construction limits on current aerial photographs
 - APE and study area, as well as any ROW or easement boundaries
 - Major street names and directional markers
 - Locations of all identified historic-age resources
 - Previously identified NRHP districts or properties, SALs, and RTHLs within one-quarter mile of the APE, including their NRHP boundaries
 - Location of any Official Texas Historical Markers (OTHMs)
 - Locations of each resource surveyed; resources will be labelled as consecutively as possible in an easy-to-follow order
 - Site maps for NRHP-eligible resources

- **Consulting Parties:** Potential consulting parties may include the following:

Steve Myers
Tarrant County Historical Commission
8704 Canyon Crest Road
Fort Worth, Texas 76179
817-944-8578
817-821-9572
yippy-io1876@sbcglobal.net

Prior to conducting the historic resources survey, CMEC Historians will contact the Tarrant County Historical Commission informally via telephone and/or email to identify locally significant resources within the project area. Formal consultation with the Tarrant County Historical Commission, if required, will be the responsibility of TxDOT.

Literature Review & Methodology

- **Research to-date:** A review of the THC's Historic Sites Atlas indicates that there are two Texas Historical Markers (Parker Cemetery #3938 and I.D. Parker Public Cemetery and Homestead #2609) and two cemeteries (Parker Cemetery and Ray-Manship Cemetery) located within the one-quarter-mile Study Area. The Ray-Manship Cemetery was razed in 1984, and several of the graves were reinterred at the Rose Hill Cemetery (Dooley 2005). Aerial maps confirm that the cemetery is no longer extant. According to the Tarrant County website (2017), the historical marker depicting the former location of the cemetery is in the hands of the developers. The current site is utilized as a gas-oil pad site.

- Additional Sources to be reviewed as part of the ongoing research effort:

The historic context will be developed in conjunction with the field investigations and development of the historic resources survey report. The following resources are expected to be utilized for writing the historic context and evaluating surveyed resources:

- *The Handbook of Texas* articles, including entries for Hurst, Texas; Richland Hills, Texas; North Richland Hills, Texas; Fort Worth, Texas; Tarrant County, Texas; Trinity River; and West Fork of the Trinity River (Texas State Historical Association website)
- Historic highway maps of Tarrant County (Texas State Highway Department 1936, 1961)
- Historic topographic maps (from the U.S. Geological Survey [USGS])
- Historic aerial imagery (from Nationwide Environmental Title Research and USGS)
- Archival resources from The Portal to Texas History
- Local and/or county histories, newspapers, and other archival collections that may be available at local libraries, including:
 - Janet Schmelzer, *Where the West Begins: Fort Worth and Tarrant County*, 1985
 - George N. Green, *Hurst, Euless, and Bedford : Heart of the Metroplex, An Illustrated History*, 1995
 - George N. Green, *The History of North Richland Hills*, 1998

- Ty Cashion, *The New Frontier: A Contemporary History of Fort Worth & Tarrant County*, 2006
- Ruby Schmidt, *Fort Worth & Tarrant County: A Historical Guide*, 1984
- Tarrant County Historic Resources Survey, *Selected Tarrant County Communities*, 1990
- Newspaper articles, the Texas State Archives, and other sources
- TxDOT's Survey Methodology for Mid-20th Century Subdivisions (draft)
- TxDOT's Documentation Standard for Mid-20th Century Developments in a Historical Studies Report (draft)
- TxDOT's Bibliographic Analysis of Mid-20th Century Architecture and Subdivision Reports (draft)
- Literature Review/Context:
The primary areas of significance are anticipated to be Community Planning and Development and Architecture.

References

Additional references will be included when the historic context is developed. The following are the primary resources used to developed the research design.

Awbrey, Betty Dooley and Claude Dooley.

2005 Why Stop?: A Guide to Texas Historical Roadside Markers. First Taylor Trade Publishing, USA.

Nationwide Environmental Title Research

2017 *Historic Aerials Database*. Nationwide Environmental Title Research. Available at <http://historicaerials.com>. Accessed August 9, 2017.

Tarrant County Website

2017 "Texas Historical Markers in Tarrant County." Available at <https://access.tarrantcounty.com/en/tarrant-county-archives/holdings/historical-county-records/texas-historical-markers.html>. Tarrant County. Accessed August 9, 2017.

Figures

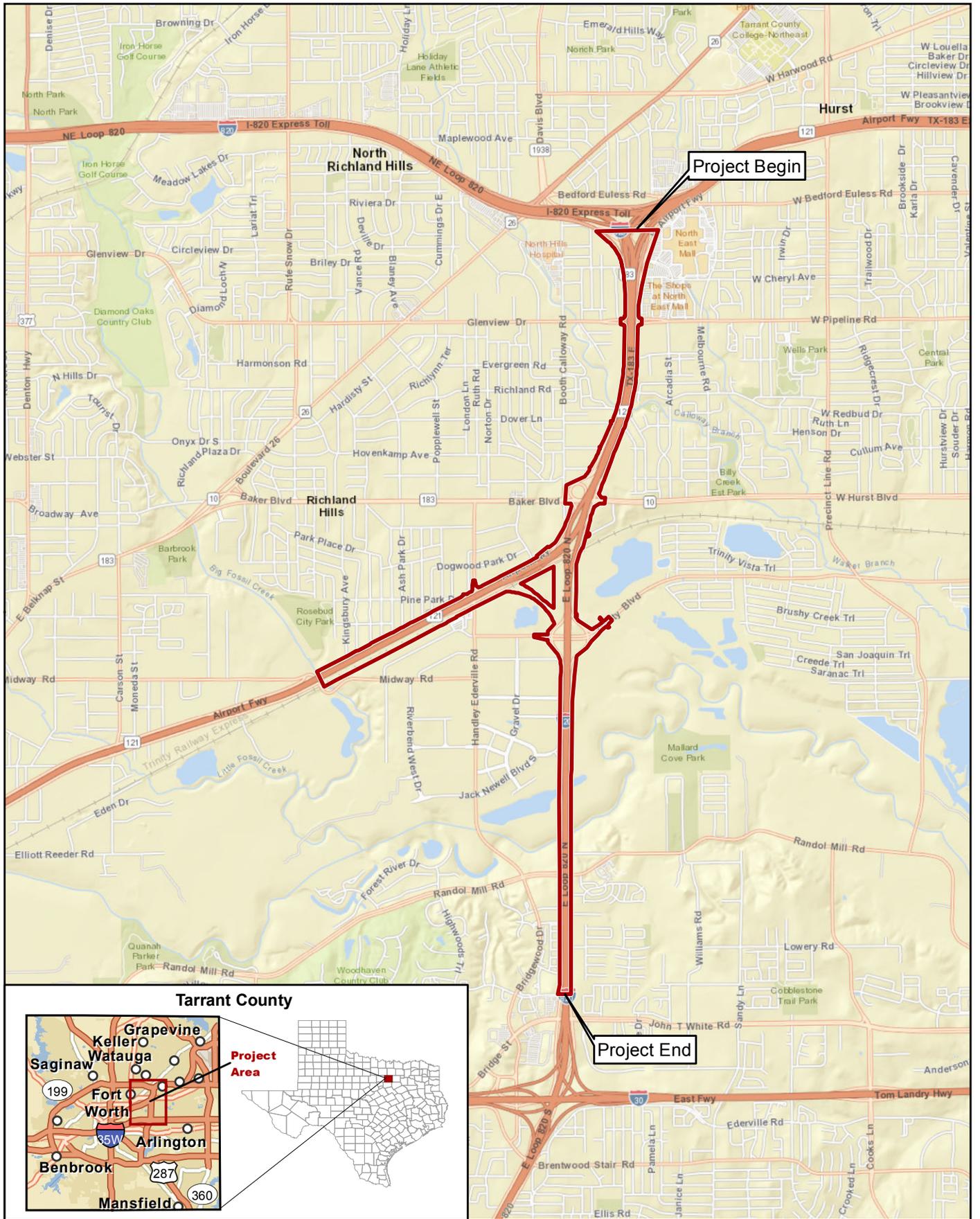


Figure 1
Project Location (Road Base)
I-820 from SH 121 to Randol Mill Rd

 Project Location



0 0.75 Miles
 0 1 Kilometers

Prepared for: TxDOT
 Scale: 1:47,520
 Date: 8/25/2017

Basemap Source: ESRI (2017)

CSJ: 0008-13-124

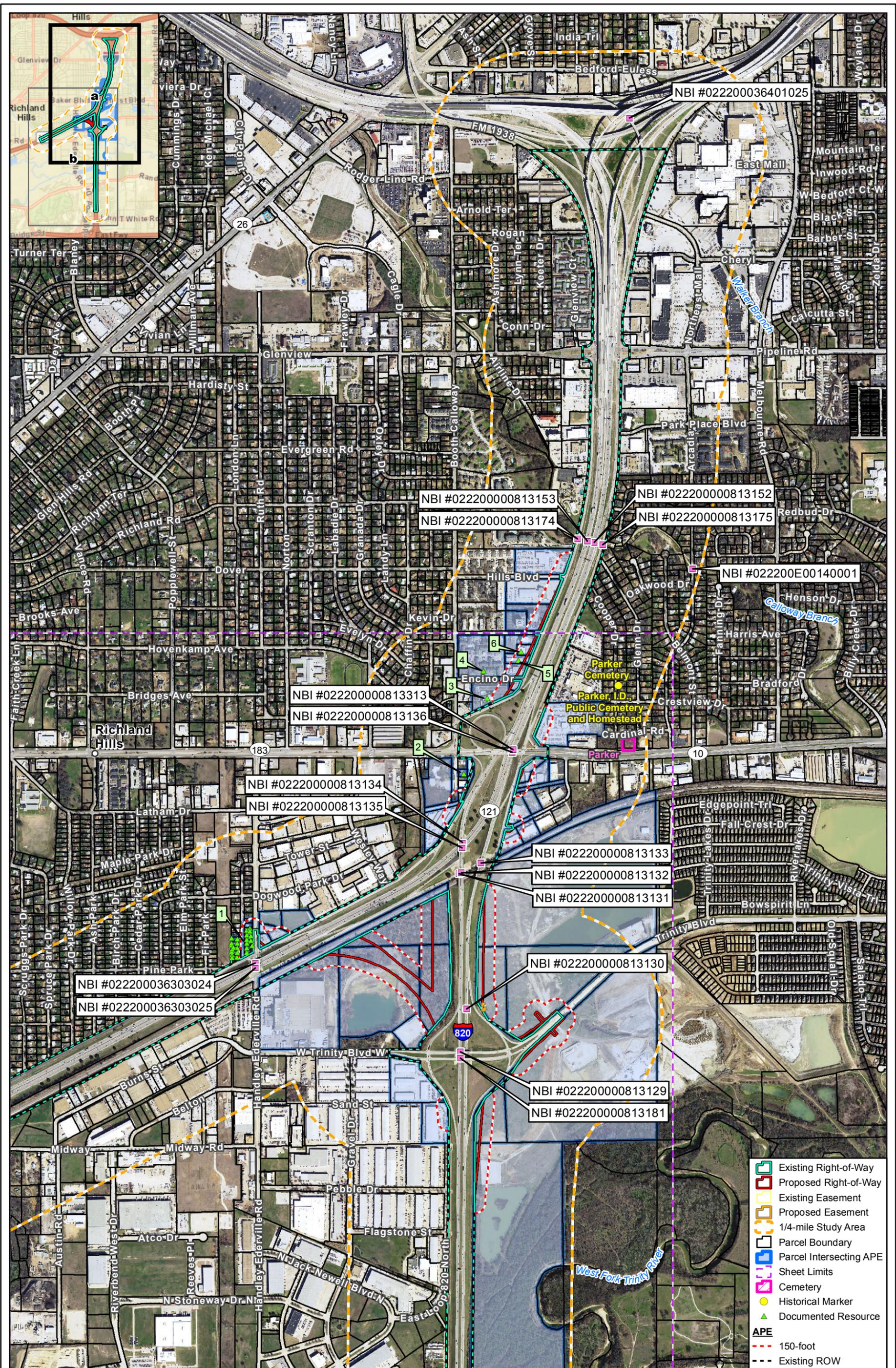


Figure 2a
Location of APE for Historic Resources
I-820 from SH 121 to Randol Mill Rd

Data Sources:
 THC (2016), TxDOT (2016),
 TCAD (2017), FHWA (2017),
 CMEC (2017)

Prepared for: TxDOT
 Scale: 1:14,400
 Date: 8/25/2017

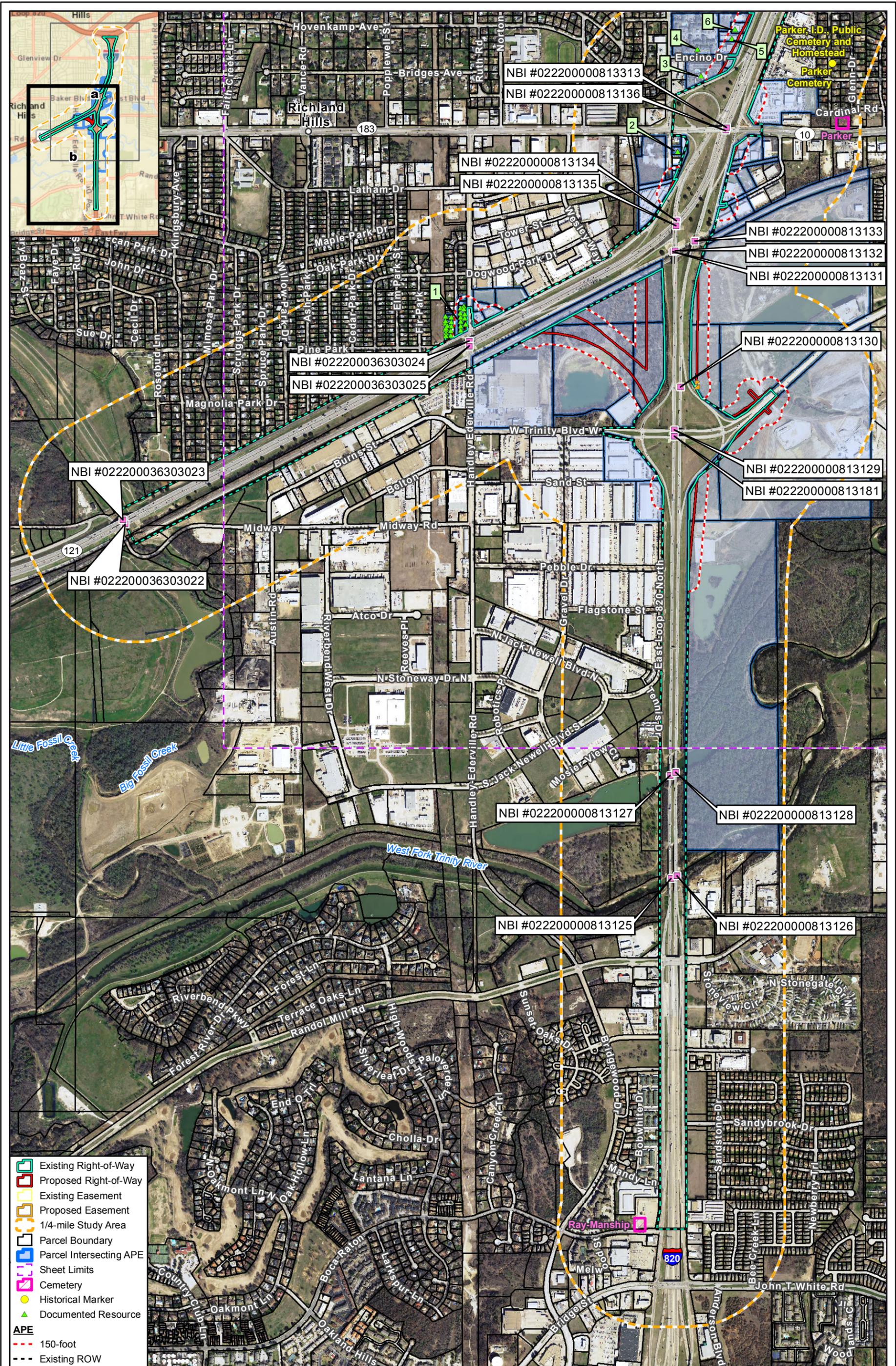
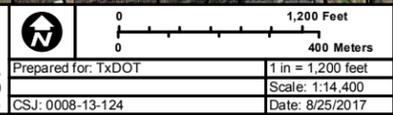


Figure 2b
Location of APE for Historic Resources
I-820 from SH 121 to Randol Mill Rd

Data Sources:
 THC (2016), TxDOT (2016),
 TCAD (2017), FHWA (2017),
 CMEC (2017)
 Aerial Source: TNRIS (2015)

Prepared for: TxDOT
 Scale: 1:14,400
 Date: 8/25/2017





Project Coordination Request for Historical Studies Project

[Reset Form](#)

Main CSJ: 0008-13-124

Child CSJs: 0008-13- 179, 202, 210, 221, 235, 236 & 237
and 0363-03-051 & 054

District(s): Fort Worth

County(ies): Tarrant

Roadway Name: I-820 (East)

Limits From: I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road and

Limits To: SH 121 from the SH 121/I-820 Interchange to approximately 5,000 feet west of Handley-Ederville Road

Project Description: Please see the following document that has been uploaded into TXECOS: Project Description (0008-13-124, etc.).pdf

District personnel should complete this form with all appropriate documentation attached. ENV-HIST staff review is contingent on provision of an active CSJ (or equivalent if the project is not a construction project) against which environmental work can be charged. District-provided responses should reflect known data about the project and identify any limitations that hindered provision of the requested information. ENV-HIST staff will review the PCR form and attached information per established Documentation Standards. This review will result in:

- ENV-HIST environmental clearance of the project; OR
- ENV-HIST identification of additional technical studies required for clearance; OR
- ENV-HIST rejection of the PCR for failure to meet specific Documentation Standards and instructions on how to redress the rejection.

This form specifies minimally required information needed to properly facilitate ENV-HIST's review process. Please submit all relevant documentation with this PCR at one time.

NOTE: * If this project information changes over the course of design OR if the funding source changes, then HIST requires re-coordination and a revised PCR in ECOS.

Information Required to Process Historic Resources Coordination and Consultation

1. Targeted ENV clearance date: November 1, 2017
2. *Anticipated letting date: December 2017
3. "Historic-age" date (let date minus 45 years): 1972

4. Yes *The proposed action is subject to federal permitting (i.e. Corps of Engineers, Coast Guard, IBWC, etc.).

Describe:

Clean Water Act 404 Nationwide Permit 14 with a Pre-construction Notification and a NWP 25.

5. Yes *The proposed action requires additional ROW (purchased or donated) or easements?

Parcel ID	Required New ROW (acres)	Required New Easements	
		Temporary	Permanent



Project Coordination Request for Historical Studies Project

Reset Form

Parcel ID	Required New ROW (acres)	Required New Easements	
		Temporary	Permanent
Schematic ID -19 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4B01	6.61	0	0
Schematic ID - 20 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4C01	4.171	0	0
Schematic ID - 22 Legal Description - P S I ADDITION Lot NO LEGAL	0.049	0	0
Schematic ID - 29 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 1 Lot B	0.154	0	0
Schematic ID - 30 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 1 Lot A	0.316	0	0
Schematic ID - 31 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 2 Lot 2R1A	0.351	0	0
Schematic ID - 32 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 2 Lot 2R1B1 & 2R1C2	0.162	0	0
Schematic ID - 33 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 2 Lot 2R2A & 2R1B2	0.188	0	0
Schematic ID - 34 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 2 Lot 2R1C1 &2R2B	0.138	0	0
Schematic ID - 35 Legal Description - EIGHT-TWENTY NORTHEAST ADDN Block 2 Lot B	0.279	0	0
Schematic ID - 36 Legal Description - NORTH HILLS ADDITION (HURST) Block 1 Lot 1	0.14	0	0
Schematic ID - 37 Legal Description - NORTH HILLS ADDITION (HURST) Block 2 Lot 1A	0.01	0	0
Schematic ID - 56 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 5C	0.926	0	0
Schematic ID - 57 Legal Description - CENTRAL PARK NORTH Lot 6	0.039	0	0
Schematic ID - 58 Legal Description - CENTRAL PARK NORTH Lot 7	0.029	0	0



Project Coordination Request for Historical Studies Project

[Reset Form](#)

Schematic ID - 59 Legal Description - BENNET, H ADDITION Lot A2	0.0002	0	0
Schematic ID - 60 Legal Description - BENNET, H ADDITION Lot A1 W PT TR A	0.083	0	0
Schematic ID - 61 Legal Description - MORITZ KIA ADDITION Block 1 Lot 1A	0.027	0	0
Schematic ID - 108 Legal Description - RICHLAND PARK ANNEX Block 4 Lot 12A	0.023	0	0
Schematic ID - 109 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 5G	0.116	0	0
Schematic ID - 110 Legal Description - MIDWAY INDUSTRIAL PK ADDITION Block 2 Lot 8A	0.013	0	0
Schematic ID - 116 Legal Description - WAPCO ADDITION Block 1 Lot 1A1	0.274	0	0
Schematic ID - 117 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4D01; BENNETT, HAMILTON SURVEY Abstract 138 Tract 4D02; BENNETT, HAMILTON SURVEY Abstract 138 Tract 4D	4.782	0	0
Schematic ID - 120 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 5B03 BOUNDARY SPLIT	0.044	0	0
Schematic ID - 141 Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4A	0.618	0	0
Schematic ID - 108A Legal Description - RICHLAND PARK ANNEX Block 4 Lot 11A	0.026	0	0
Schematic ID - 108B Legal Description - RICHLAND PARK ANNEX Block 4 Lot 10A	0.026	0	0
Schematic ID - 108C Legal Description - RICHLAND PARK ANNEX Block 4 Lot 9A	0.022	0	0
Schematic ID - 108D Legal Description - RICHLAND PARK ANNEX Block 4 Lot 8A	0.013	0	0
Schematic ID - 108E Legal Description - RICHLAND PARK ANNEX Block 4 Lot 7A	0.003	0	0



Project Coordination Request for Historical Studies Project

[Reset Form](#)

Schematic ID - 141A Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4A	0.583	0	0
Schematic ID - 17A Legal Description - NEWELL & NEWELL INDUSTRIAL PK Block 4 Lot 1R	0.028	0	0
Schematic ID - 55A Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4B	1.362	0	0
Schematic ID - 55B Legal Description - BENNETT, HAMILTON SURVEY Abstract 138 Tract 4B	1.503	0	0.025
Total:	23.1082	0	0.025



Project Coordination Request for Historical Studies Project

Reset Form

6. The following maps, tables or equivalents been uploaded to ECOS?

Yes/No/NA	Map Type	ECOS File Name:
<u>Yes</u>	Existing and proposed ROW boundaries.	Attached to the PCR as ROW, APE, and PARCEL Map
<u>Yes</u>	Area of Potential Effects (APE) appropriate for project type.	Attached to the PCR as ROW, APE, and PARCEL Map
<u>Yes</u>	Parcel boundaries for properties within the APE.	Attached to the PCR as ROW, APE, and PARCEL Map
<u>Yes</u>	Results of the Texas Historic Sites Atlas search, identifying NHL, NRHP, SAL, and RTHL resources located within one-quarter mile of the project area listed in a table format and identified on color aerial map(s) or equivalent.	Attached to the PCR as Texas Historic Sites Atlas Search Results

Comments: According to the Texas Historic Sites Atlas (<https://atlas.thc.state.tx.us/Map>), there are two Texas Historical Markers (Parker Cemetery # 3938 and I.D. Parker Public Cemetery and Homestead # 2609) and two cemeteries (Parker [TR-C057] and Ray-Manship [TR-C059]) located within one-quarter mile of the proposed area. According to the TXGenWeb Project (<http://www.rootsweb.ancestry.com/~txtarran/cemetery/info-ray-manship.htm>) the Ray-Manship Cemetery's graves were removed to Rose Hill Burial Park. According to the Access Tarrant County website (<https://access.tarrantcounty.com/en/tarrant-county-archives/holdings/historical-county-records/texas-historical-markers.html>) the historical marker depicting the former location of the cemetery is in the hands of the developers. The current site is utilized as a gas-oil pad site.

Refer to the "Texas Historic Site Atlas Search Results" for information about the Ray-Manship Cemetery, the "Ray-Manship Cemetery Supporting Data" for the cemetery's additional information, and the "Texas Historic Site Atlas Map" for the location map.

The OTHMs and cemeteries would not be impacted by the proposed project. There are no NHL, NRHP, SAL, or RTHL resources within one-quarter mile of the project area.

<u>Yes</u>	Results of Google Earth search with HIST-provided eligibility and historic bridge layers.	ECOS File Name: Attached to the PCR as TxDOT Historic Bridges Results
------------	---	---

Comments: There are no previously identified eligible historic properties, districts, or bridges on the TxDOT-provided layers.

7. Yes Representative and dated photographs of the project area are uploaded to ECOS.

Note: Photographs should include the following elements:

1. Buildings/structures in the APE and those adjacent.
2. Road Features (culverts, bridges, landscaping, etc.
3. Areas of proposed construction.

File Name in ECOS: Project Area Photographs (0008-13-124, etc.).pdf



Project Coordination Request for Historical Studies Project

Reset Form

8. Yes Preliminary plans are uploaded to ECOS.

File Name in ECOS:

9. No Historic-age bridges are within the project area.

10. No Rock masonry features (culverts, ditches, walls, etc.) are within the project area.

11. No Historic-age rest area(s) are located within the project area.

12. No The proposed action involves the relocation of historical markers.

13. No Additional consulting parties (other than the THC) may be involved in this project.

Additional Project Comments:

District Personnel Certification

Yes I reviewed all submitted documents for quality assessment and control.

Chad Putnam
District Personnel Name

July 6, 2017
Date:



Project Coordination Request for Historical Studies Project

Reset Form

The following table shows the revision history for this document.

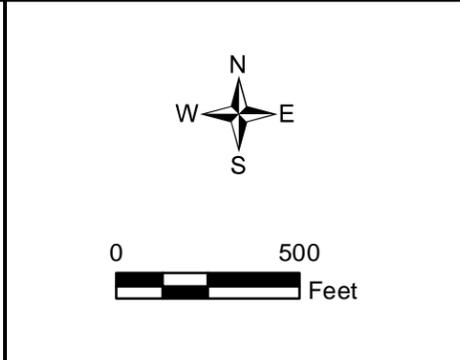
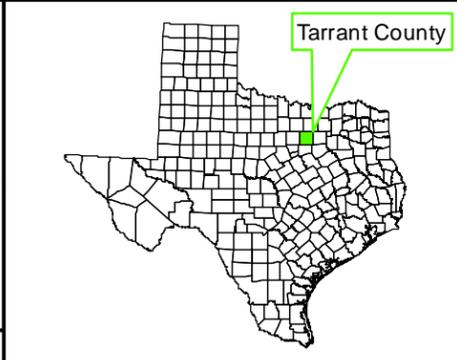
Revision History	
Effective Date Month, Year	Reason for and Description of Change
December 2013	Version 1 released.
June 2015	Version 2 released. The form was converted to a PDF format. Form level validations were installed to ensure that all certified forms contained the minimum required information. Various questions were modified to accommodate the improved functionality of the PDF format.
August 2015	Version 3 released. Revised the form to make it compatible with Adobe Acrobat Reader DC. No changes were made to the question sequence or form logic.



Legend

- - - Existing ROW
- - - Proposed ROW
- Proposed Easement
- Area of Potential Effect (APE)
- Parcel

Base Map Sources: TNRIS (2016) and TAD (2017).



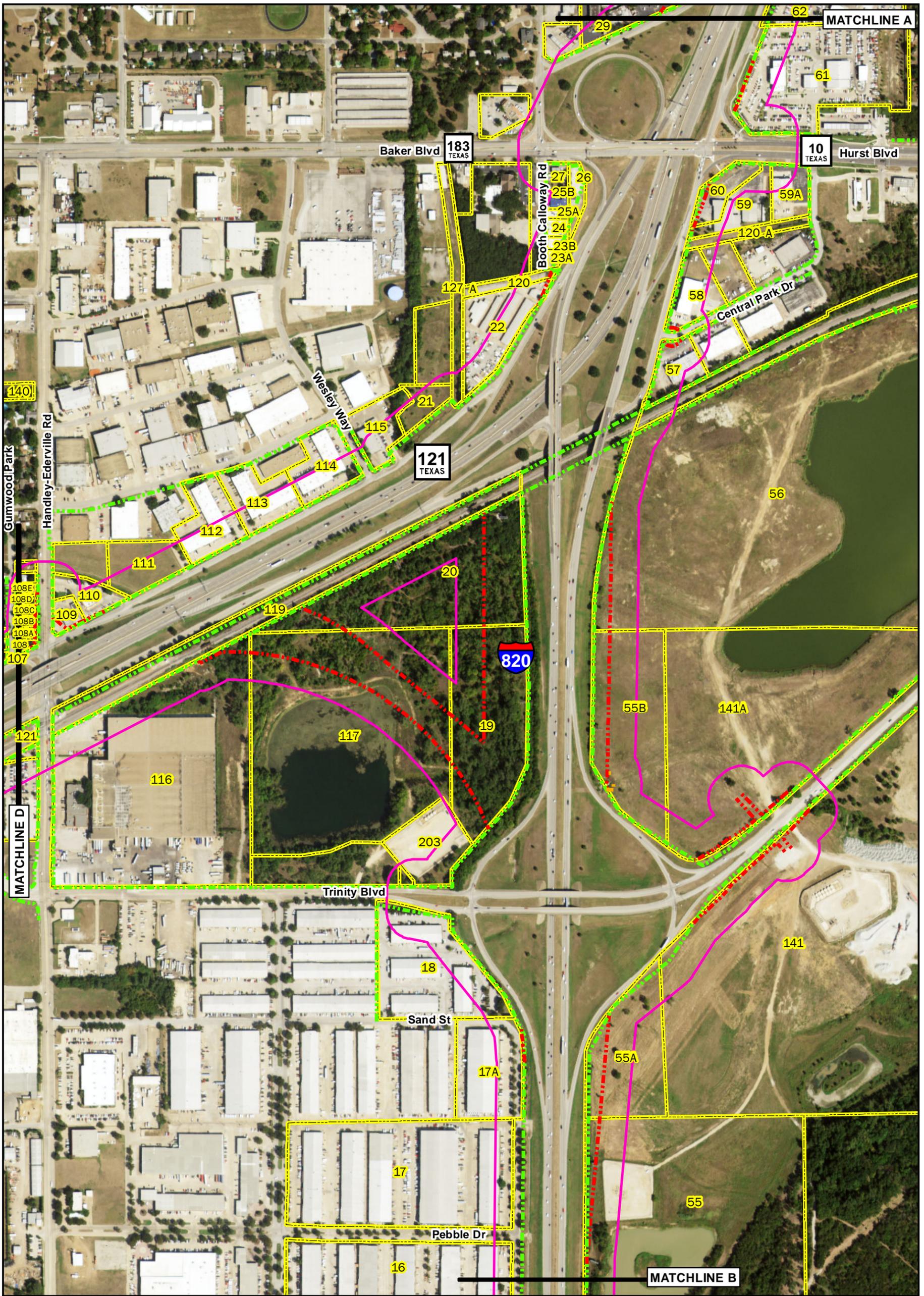
ROW, APE, and PARCEL MAP

I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road

SH 121 from I-820 to approximately 5,000 feet west of Handley-Ederville Road

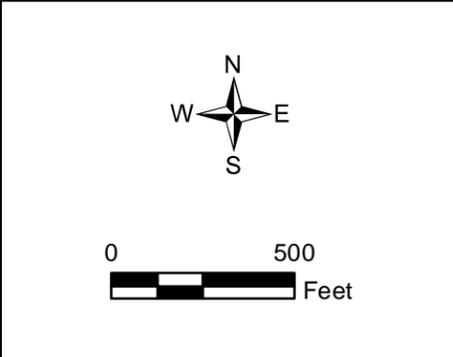
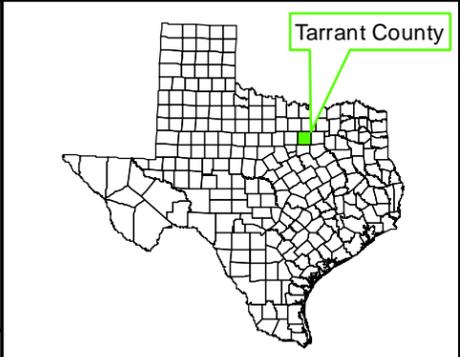
CSJ: 0008-13-124, etc.

Page 1 of 5



Legend

- Existing ROW
- Proposed ROW
- Proposed Easement
- Area of Potential Effect (APE)
- Parcel



ROW, APE, and PARCEL MAP

I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road

SH 121 from I-820 to approximately 5,000 feet west of Handley-Ederville Road

CSJ: 0008-13-124, etc.



MATCHLINE C

182

183

184

185

186

200

199

Sandybrook Dr

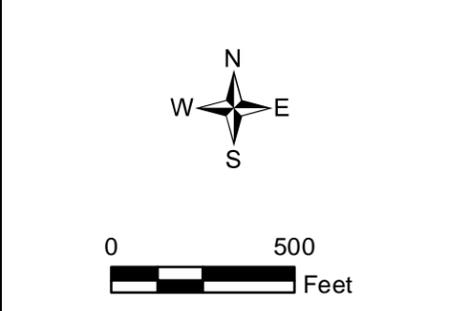
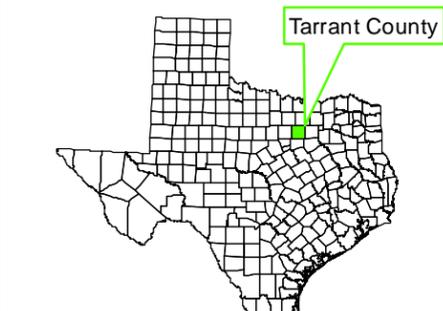
Mandy Ln

Boca Raton Blvd



Legend

- - - Existing ROW
- - - Proposed ROW
- Proposed Easement
- Area of Potential Effect (APE)
- Parcel



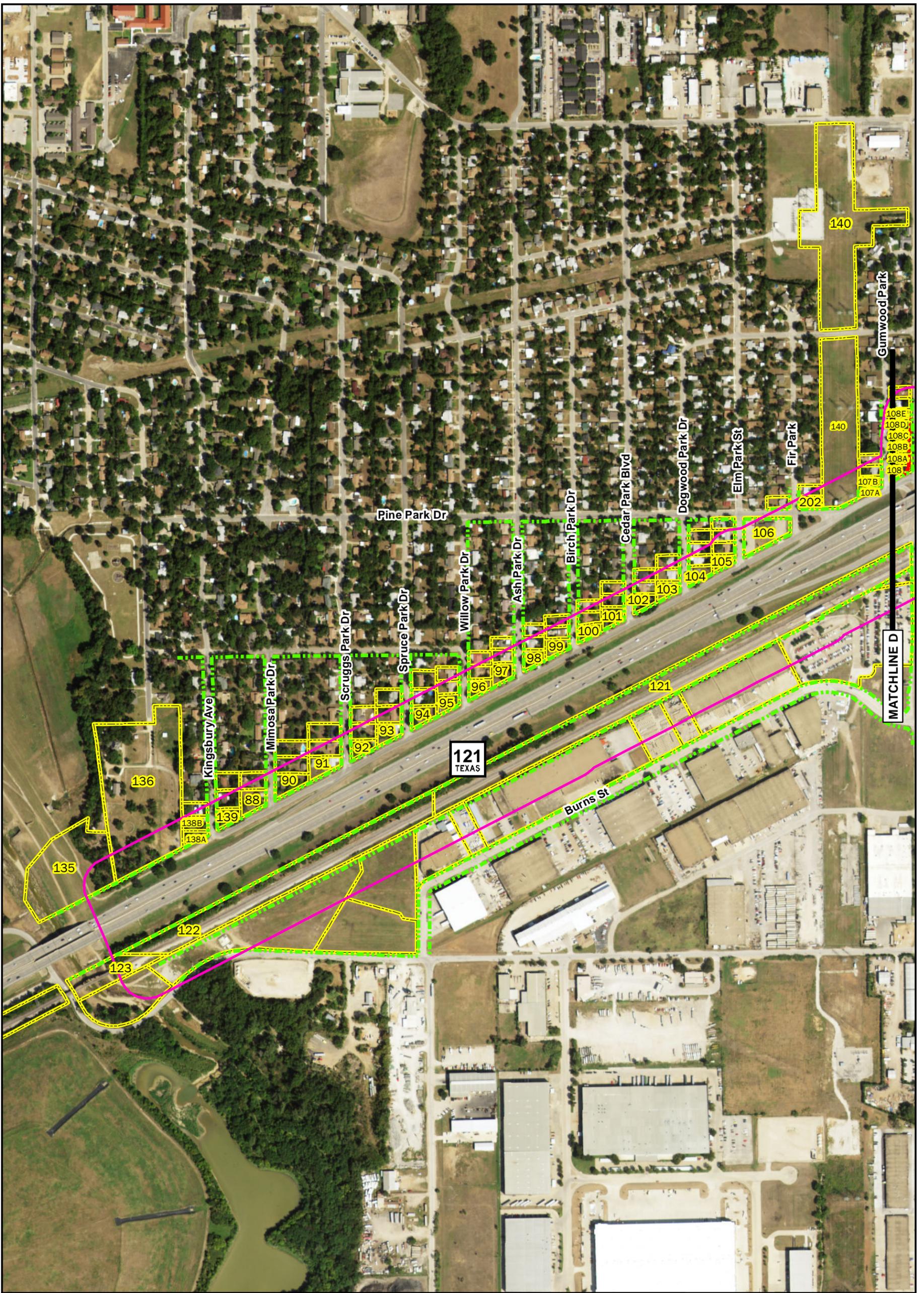
ROW, APE, and PARCEL MAP

I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road

SH 121 from I-820 to approximately 5,000 feet west of Handley-Ederville Road

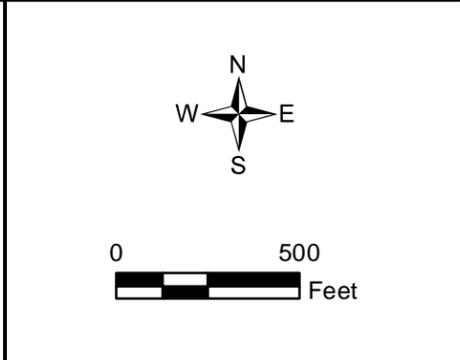
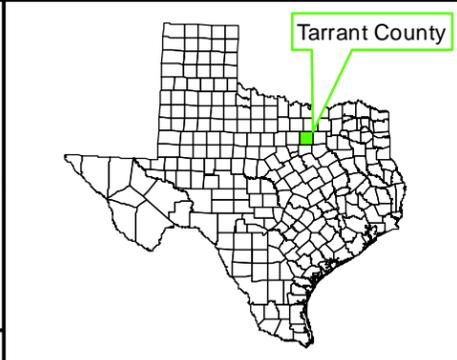
CSJ: 0008-13-124, etc.

Base Map Sources: TNRIS (2016) and TAD (2017).



Legend

- - - Existing ROW
- - - Proposed ROW
- Proposed Easement
- Area of Potential Effect (APE)
- Parcel



ROW, APE, and PARCEL MAP

I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road

SH 121 from I-820 to approximately 5,000 feet west of Handley-Ederville Road

CSJ: 0008-13-124, etc.

Base Map Sources: TNRIS (2016) and TAD (2017).

TEXAS HISTORIC SITES ATLAS SEARCH RESULTS
 FOR
 I-820 FROM APPROXIMATELY 2,000 FEET NORTH OF PIPELINE ROAD/GLENVIEW DRIVE TO APPROXIMATELY 3,200 FEET SOUTH
 OF RANDOL MILL ROAD
 AND
 SH 121 FROM I-820 TO APPROXIMATELY 5,000 FEET WEST OF HANDLEY-EDERVILLE ROAD
 CSJs: 0008-13-124, etc.

NRHP	SAL	RTHL	OTHM	Cemetery
0	0	0	2	2

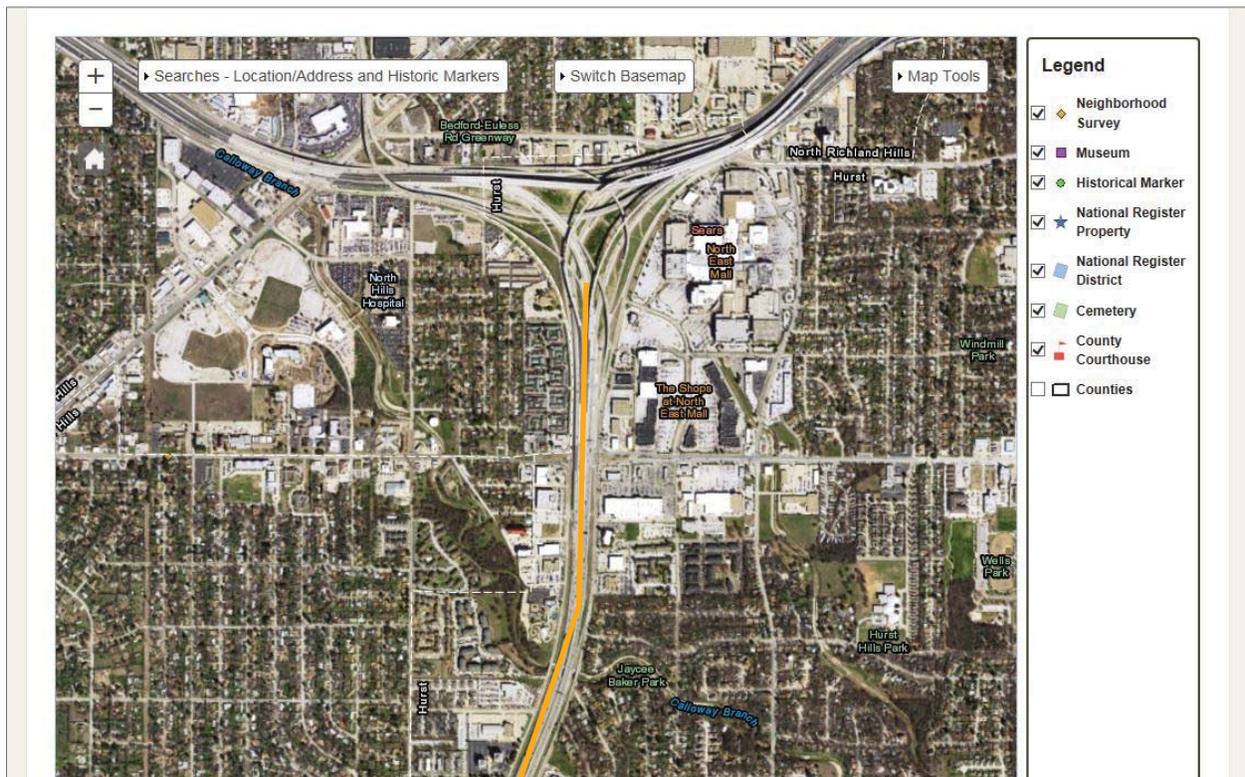
Also refer to the [Texas Historic Sites Atlas Map](#) for the aerial location map.

OTHM:

1. Parker Cemetery
2. I.D. Parker Public Cemetery and Homestead

Cemetery:

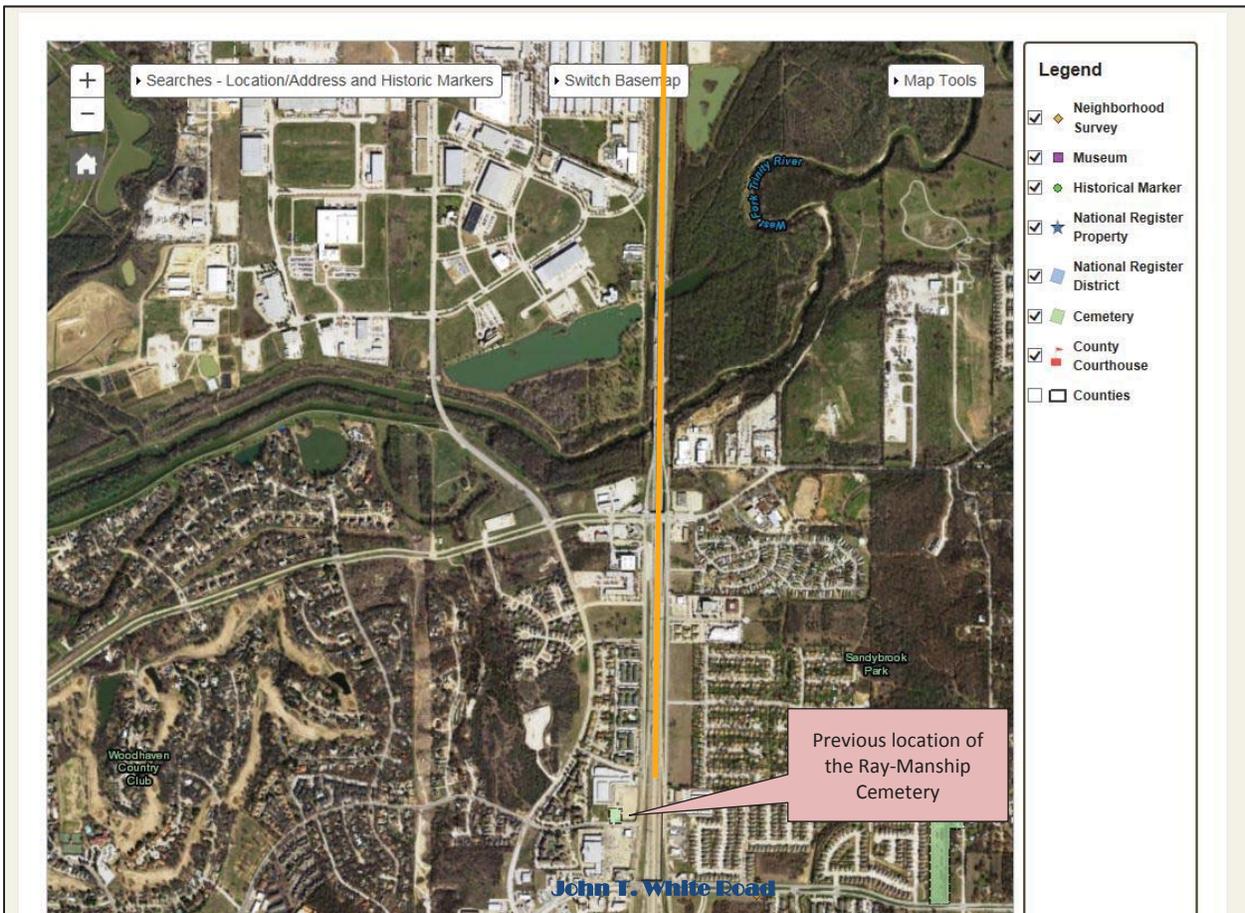
1. Parker Cemetery, Hurst, Texas.
2. Ray-Manship Cemetery - Fort Worth, Texas - The cemetery was 1/8 mile northwest of John T. White Road and East Loop 820. The graves were removed to Rose Hill Burial Park. Earliest burial reported was in 1883. The current site is utilized as a gas-oil pad site.



Screen capture of Texas Historic Sites Atlas (accessed June 29, 2016), 1 of 3.



Screen capture of Texas Historic Sites Atlas (accessed June 29, 2016), 2 of 3. Note that the location of the historical markers is inaccurate. See the Texas Historic Sites Atlas Map for actual locations.



Screen capture of Texas Historic Sites Atlas (accessed June 29, 2016), 3 of 3.

Ray-Manship Cemetery Supporting Data



*** Pollock-Capps House**

1120 Penn Street, Fort Worth (1977)

*** Ponton House, Dr. Arvel and Faye**

1208 Mistletoe Drive, Fort Worth (2008)

Quanah Parker

130 E. Exchange Avenue, Fort Worth (2008)

Randol Mill, Site Of

1/8 m. N and 100 yards W of intersection of Precinct Line and Randol Mill Roads, Fort Worth

Ransom, Dr. Riley Andrew (Mar. 9, 1886 - Jan. 4, 1951)

New Trinity Cemetery, 4000 block NE 28th Street, Haltom City (1985)

Ray-Manship Cemetery, Site Of (Marker in hands of Developers)

NW corner John T. White Road at E. Loop 820, Fort Worth (1985)



manship cemetery tarrant county



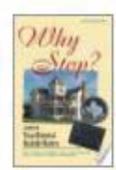
Books

Icons for search, zoom, and navigation, followed by buttons: "Add to my library" and "Write review"

Result 1 of 1 in this book for manship cemetery tarrant county

VIEW EBOOK

Get this book in print ▼



G+1 0
★★★★★
0 Reviews
Write review

Why Stop?: A Guide to Texas Historical Roadside Markers
By Betty Dooley-Awbrey, Dooley, Texas Historical Commission

on land deeded by Ivory H. Chapin (2 mi. SE). In 1884, the school was moved one mile west to a 2-room frame house on Mary's Creek on land donated by J. Fielding Dunlap (0.5 mi. S). It was moved again in 1936, to a rock structure on Chapin Road. In 1961, the Fort Worth Independent School District annexed the Chapin Common School District. The name Chapin School continued to be used for an elementary school, however, until 1968, when it closed. (1985)

FORT WORTH (Tarrant Co.) *Loop 820 & John T. White Rd., NW corner*
Site of
Ray-Manship Cemetery
Razed in 1984, the cemetery that once was located at this site contained twelve known burials and numerous unmarked graves of early Tarrant County settlers. The graveyard was located on the William Ray survey. Ray, a Peters colonist, and his wife, Lucinda, were buried here in the mid-1880s. The earliest known burial, that of Sarah Clark (b. 1880), took place in 1883. Three members of the Manship family, early area farmers, were known to have been buried here. Several graves were reinterred in Rose Hill Cemetery as area land development began.
(Texas Sesquicentennial 1836-1986)

HOME (/) **ATLAS MAP** (/MAP) **ADVANCED SEARCH**
 (/ADVANCEDSEARCH) **ABOUT ATLAS**
 (/ABOUT) **DOWNLOADS**
 (/DATA/DATADOWNLOAD)

Details for Ray-Manship Cemetery, Site of

Historical Marker — Atlas Number 5507015420

Data

Marker Number	15420
Atlas Number	5507015420
Marker Title	Ray-Manship Cemetery, Site of
Index Entry	Ray-Manship Cemetery, Site of
Address	
City	Fort Worth
County	Tarrant
UTM Zone	
UTM Easting	
UTM Northing	
Subject Codes	graveyards
Marker Year	1986
Designations	
Marker Location	
Marker Size	18" x 28"
Marker Text	



(//thc.state.tx.us)

Texas Homeland Security (<http://www.texashomelandsecurity.com/>) | Texas Veterans Portal (<http://www.texvet.org/partners/texgov>) | Texas.gov (<http://www.texas.gov>)
 TRAIL Search (<https://www.tsl.state.tx.us/trail/index.html>) | Site Map (<http://www.thc.state.tx.us/sitemap>) | Policies (<http://www.thc.state.tx.us/policies>) | Archeological Log In (/Account/Login?Length=5)
 © 2015 Texas Historical Commission.



Tarrant County TXGenWeb

Ray-Manship Cemetery

[USGS Map](#) aka Ray Cemetery

[DAR Index](#)

Fort Worth, Texas. Was 1/8 mile northwest of John T. White Road and East Loop 820. The graves were removed to Rose Hill Burial Park. Earliest burial reported was in 1883.

Recorded in *Texas Cemetery Records: Tarrant County*, volume 8, pages 15-16, by DAR. Available at the Fort Worth Public Library.

Recorded in *Cemeteries of Northeast Tarrant County, Texas*, pages 241-242, by Evelyn D'Arcy Cushman. Available at the Texas State Library, Dallas Public Library, Allen County Public Library and at the Fort Worth Public Library. Also available through a Family History Center from the Church of Jesus Christ of Latter Day Saints.

[HOME](#)

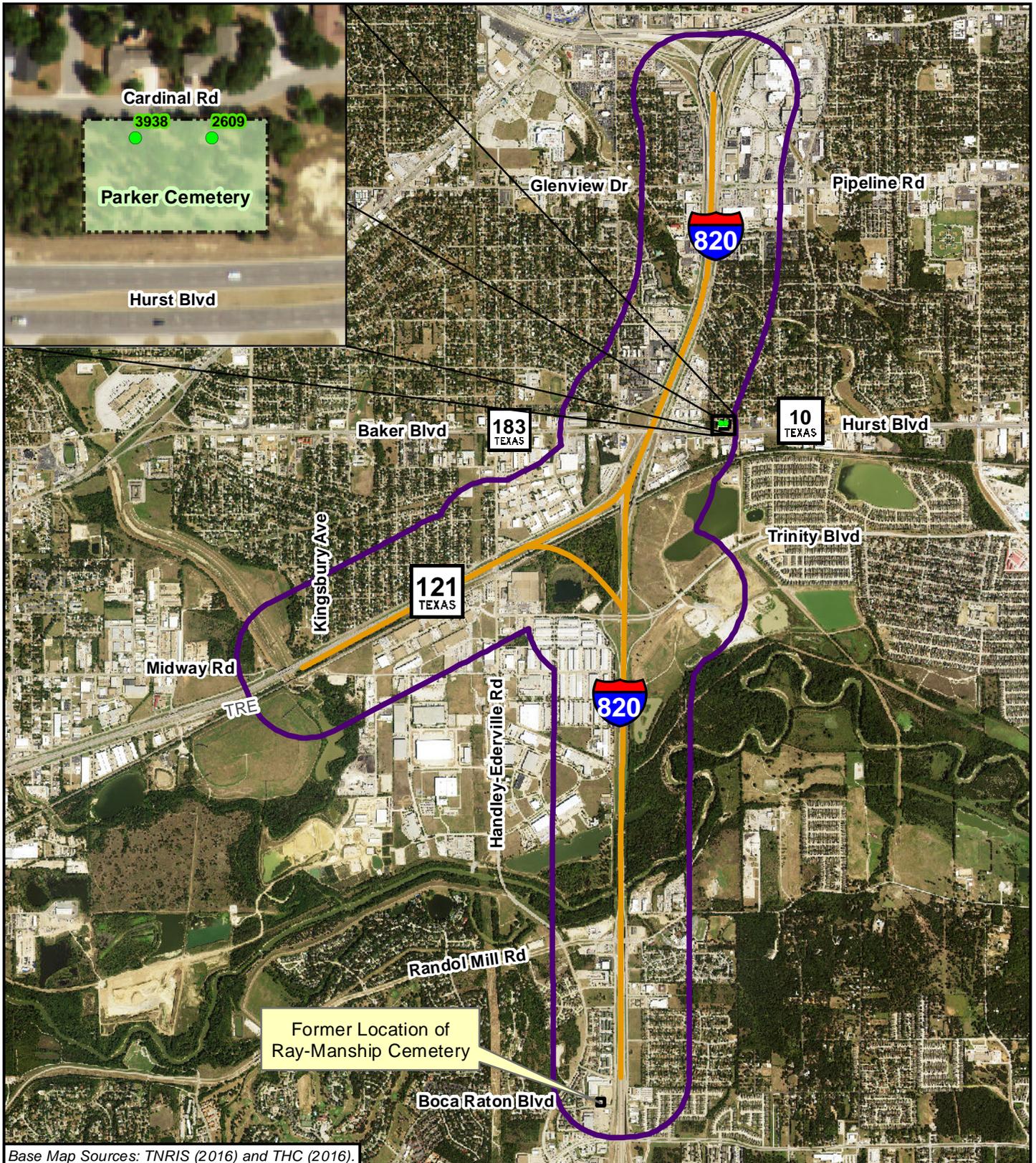
[BACK](#)

[T.O.C.](#)

[SEARCH](#)

This page was last modified 7 Aug 2005.

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Base Map Sources: TNRIS (2016) and THC (2016).

Legend

-  Project Limits
-  0.25-Mile buffer
-  Historical Marker
-  Cemetery



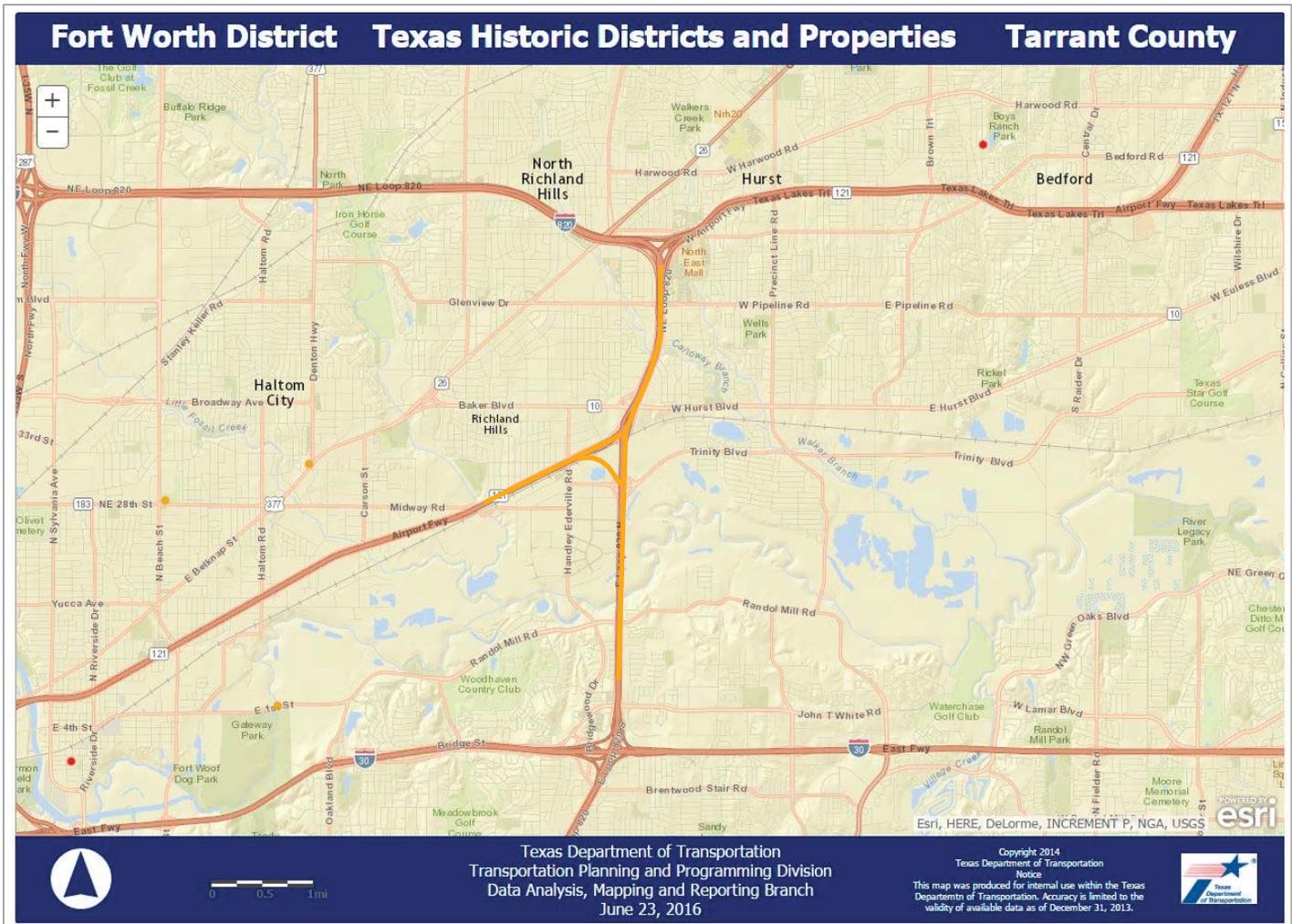
TEXAS HISTORIC SITES ATLAS MAP

I-820 from approximately 2,000 feet north of Pipeline Road/Glenview Drive to approximately 3,200 feet south of Randol Mill Road

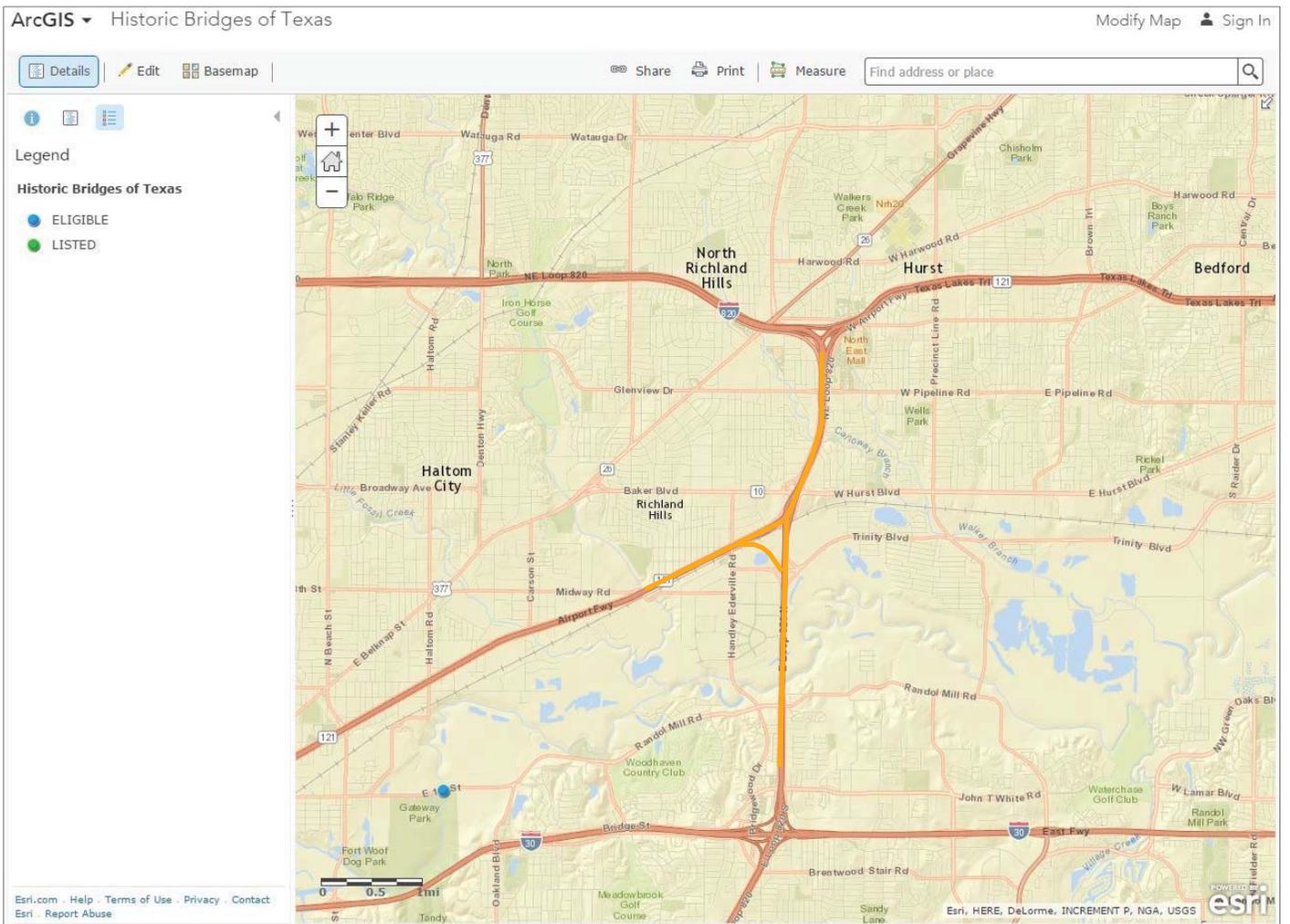
SH 121 from I-820 to approximately 5,000 feet west of Handley-Ederville Road

CSJ: 0008-13-124, etc.

TxDOT HISTORIC BRIDGE RESULTS
FOR
I-820 FROM APPROXIMATELY 2,000 FEET NORTH OF PIPELINE ROAD/GLENVIEW DRIVE TO APPROXIMATELY 3,200
FEET SOUTH OF RANDOL MILL ROAD
AND
SH 121 FROM I-820 TO APPROXIMATELY 5,000 FEET WEST OF HANDLEY-EDERVILLE ROAD
CSJs: 0008-13-124, etc.



TxDOT provided Texas Historic Districts and Properties Map (accessed June 23, 2016).



TxDOT provided Historic Bridges of Texas Map (accessed June 23, 2016).



CC: CRM

Texas Department of Transportation

DEWITT C. GREER STATE HIGHWAY BLDG. • 125 E. 11TH STREET • AUSTIN, TEXAS 78701-2483 • (512) 463-8585

24 January 2002

SECTION 106: Identification of Historic Properties
Tarrant County, Fort Worth District
CSJ 008-13-123, CSJ 008-13-124, CSJ 008-13-138

IH 820 from SH 121 to Randol Mill Road

Bob Brinkman
History Programs Division
Texas Historical Commission
Austin, Texas 78711

RECEIVED

JAN 29 2002

TEXAS HISTORICAL COMMISSION

RECEIVED
FEB 12 2002

Dear Mr. Brinkman:

In accordance with the provisions of our Statewide Programmatic Agreement for Cultural Resources, we are initiating coordination with your agency regarding this federally funded undertaking to improve the existing East Loop IH820 facility and its intersections with SH 121 and Trinity Boulevard. Additional right-of-way will be required for this project. The attached map details this project area.

In accordance with the provisions of 36 CFR 800, Texas Department of Transportation personnel conducted a cultural resources survey to identify properties potentially eligible for listing in the National Register of Historic Places. **No properties 50 years of age or older are present within the project's area of potential effects**, which for this project was determined to be 150' beyond the proposed additional right-of-way.

Please acknowledge your receipt of this correspondence and return a signed copy of this letter for our files within 15 days. If you need further information, please call me at 416-2657.

Sincerely,

Bruce Jensen
Architectural Historian
Environmental Affairs Division

attachment

RECEIPT ACKNOWLEDGED

NAME: Reth B. Baker FOR F. LAWRENCE OAKS DATE: 4 FEB 2002
State Historic Preservation Officer